

RIVERSTONE

RESIDENTIAL DESIGN STANDARDS[©]



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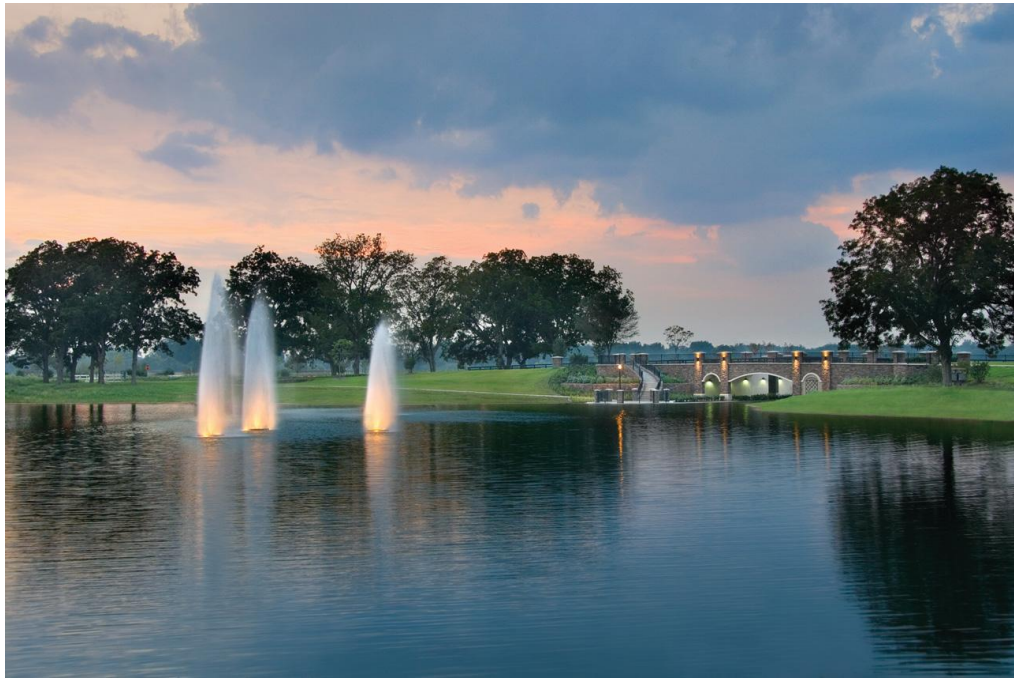


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I. Introduction

Riverstone is being developed as a master planned community consisting primarily of a mixture of single family detached residential densities with a series of water features and open space network. The master plan has been adopted in order to establish the long-range intent of the community.

The master plan is a dynamic document subject to refinement and modification as project development occurs. The master plan will be sensitive to market conditions and, while maintaining its basic integrity through these design guidelines, will be responsive to change. Residential villages of varying and distinct price ranges are arranged in identifiable neighborhoods. A system of landscaped walks and trails, greenbelts, parks and water features integrate each village. The pedestrian network connects the various villages and recreation centers throughout the community.

The Residential Design Standards are intended for the use of the various builders in the development and the design professionals they may engage. They are aimed at providing an attractive, coordinated physical environment both during and after construction. Design diversity is encouraged in order to create a specific identity for each project and each neighborhood. However, certain standards have been adopted for key design factors to provide continuity and ensure that neighboring projects reinforce each other's quality.

These Guidelines are supplemental to the Protective Covenants and are to be used in the architectural review of builder or owner plans. Non-compliance with these guidelines is grounds for disapproval of plans. The Guidelines are also for use as standards for future compliance to maintain the integrity of the community. The Guidelines contain the construction, development and aesthetic standards adopted and administered by the Residential Architectural Review Committee ("ARC") but does not necessarily represent all of the restrictions that may be imposed on a specific lot. Prior to commencing design of a project, the property deed, the recorded subdivision plat and the "Declaration of Covenants, Conditions and Restrictions" should be referred to.

The intent for the construction of residences and other structures within the development is that they be of the highest quality. Builders are required to comply with the regulations of the Home RWC Warranty building standards.

In order to ensure the integrity of the development, concepts defined in these Guidelines and construction of any type will be subject to review by ARC. The ARC is created by the Riverstone Covenants, Conditions and Restrictions (CCR's) and will operate in accordance with these provisions. All proposed improvements and any subsequent improvements, grading, mass plantings and exterior construction must be reviewed and approved by the ARC prior to the commencement of any building or construction activity on the site. No improvement shall be permitted without approval by the ARC. Refer to the Covenants, Conditions and Restrictions for members, function and approval procedures for the ARC.

Disclaimer

Neither Riverstone Development or the members of the Residential Architectural Review Committee (ARC) or its representative, their successors or assigns, shall be liable in damages to anyone submitting plans to them for approval, or to any owner or lessee of any parcel affected by these restrictions, by reason of mistake in judgment, negligence or nonfeasance arising out of or in connection with the approval or disapproval or failure to approve any plans submitted. Every person who submits plans to the Committee for approval agrees by submission of such plans, and every owner or lessee of any parcel within the property agrees, by acquiring title thereto or interest therein, that he will not bring any action or suit against Riverstone Development, the members of the ARC, or its representatives, to recover any damages.

II. Conventional Site Plan Guidelines

A. General

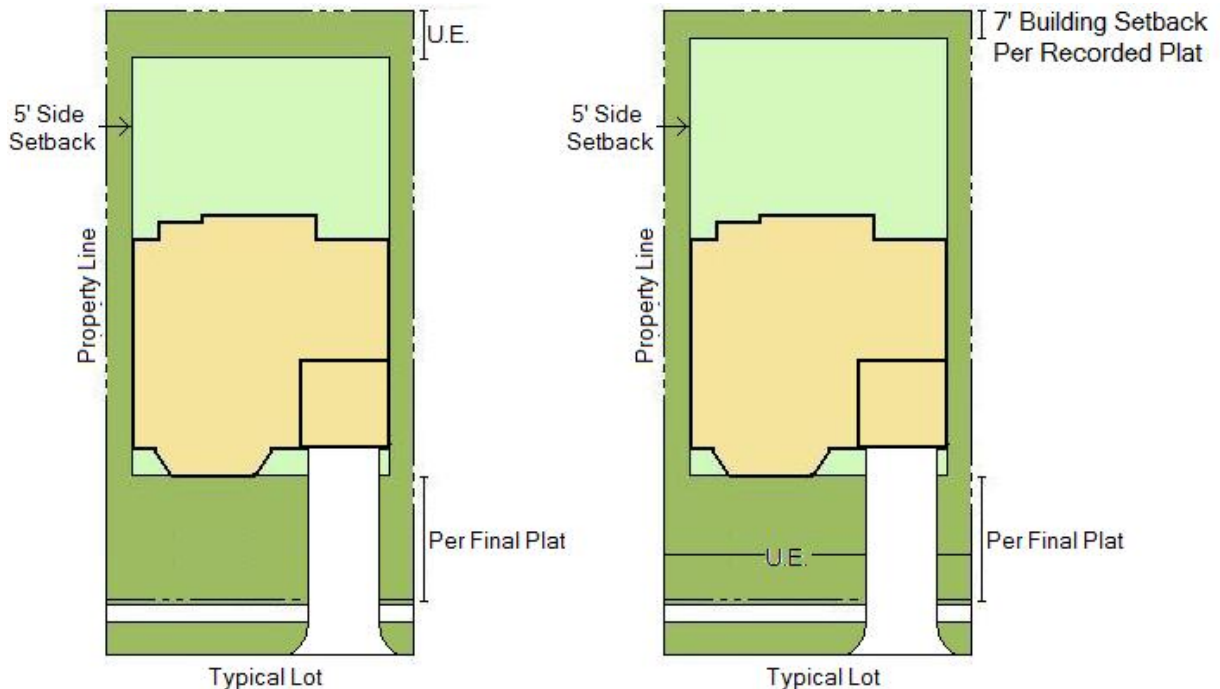
Prior to the placement of any forms, the Builder shall review the setbacks and regulations required in this document and the corresponding city requirements for the specific Lot to verify all applicable setback requirements. Unless otherwise delineated on a recorded plat or stipulated in a City ordinance, the following setbacks are required.

B. Building Setbacks

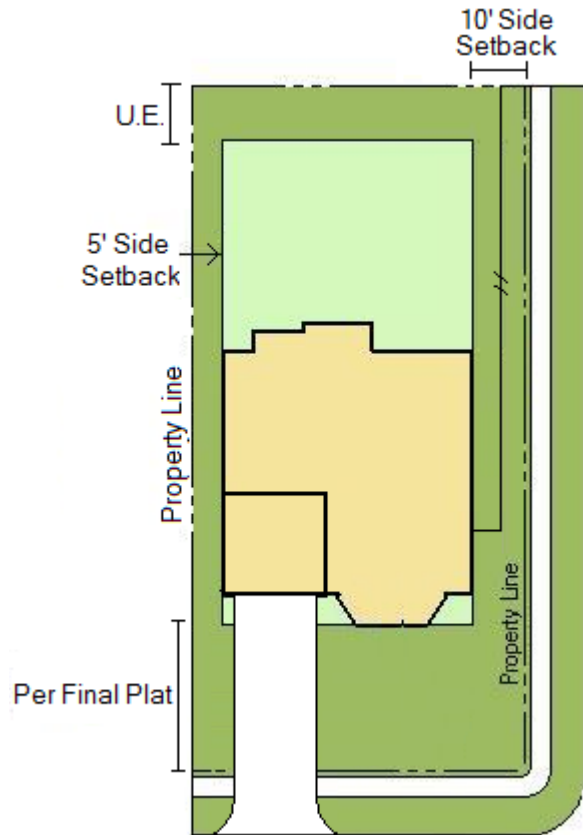
Building setbacks are established by the Developer. The setbacks or building lines, as shown, are believed to correctly represent current Missouri City and Sugar Land Requirements. However, it shall be the responsibility of the Builder to discover and become familiar with the corresponding City's building setback requirements in effect at the time issuance of a building permit.

Setbacks	
Front	Per Final Plat
Front Cul-de-Sac	Per Final Plat
Interior Side	5'
Corner Side	10'
Rear	Utility Easement or per Section Specific Plat
Rear or Side on Lake Lots	30'
Detached Garage	3' from Side P.L.

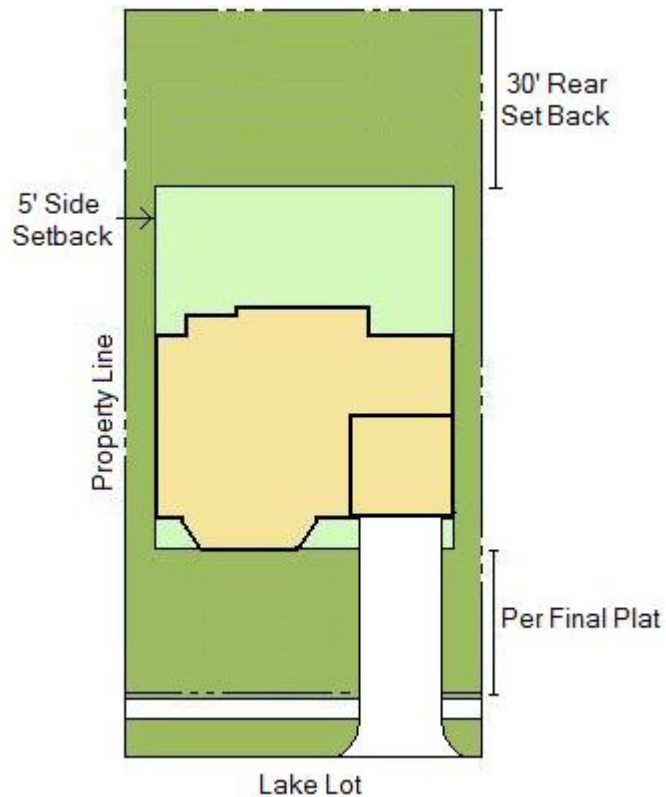
1. Front and Interior Side Setbacks:



2. Corner and Corner Side Setbacks:



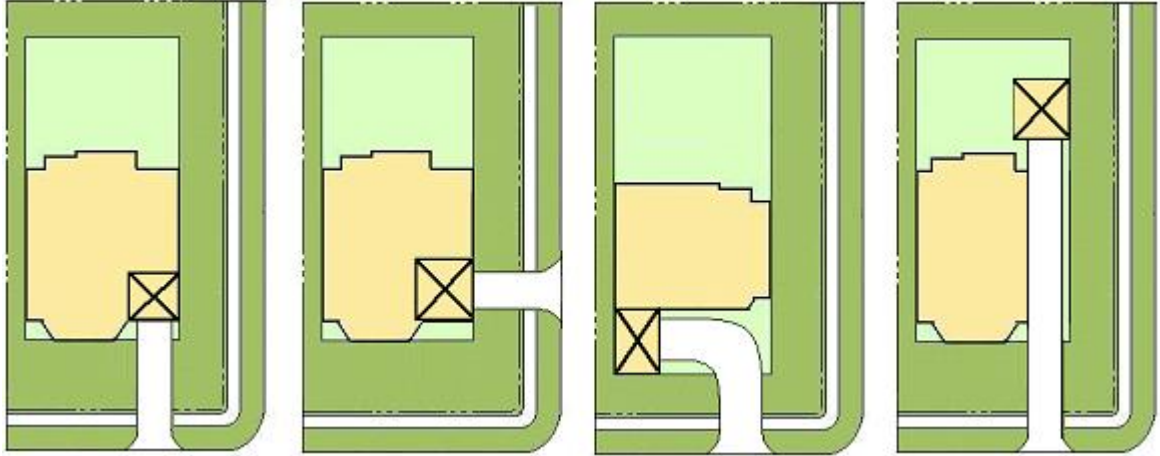
3. Lake Lot Setbacks: 65', 70', 80', 85' Lots



C. Garaged Placement

1. Corner Lot Garage

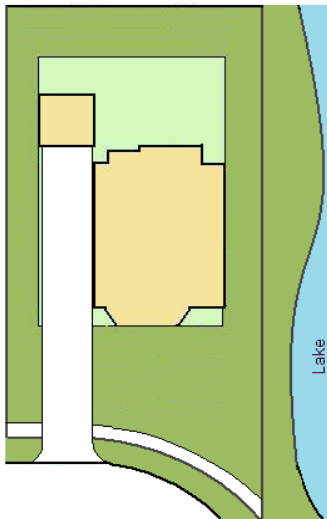
Must be located on the opposite side of the lot from a side street on corner lots; however, rear loaded attached and side loading detached garages may be located on the side street with a twenty foot (20') setback. Garage Elevations that are exposed to the street must be 100% masonry outside of any fenced area. Note: A lot is still considered a corner lot for garage placement criteria if there is common space separating the lot from the side street. Access will only be permitted to minor streets at major intersections.



PROHIBITED Corner Garage Placement

2. Lots Adjacent to Lakes

Detached garages are not permitted on lots that back onto a lake. When the side of a lot is exposed to a lake a detached garage may be allowed, provided that the garage is on the side of the lot opposite the lake. Garage Elevations exposed to the lake must be 100% masonry. Swing-In garages may not face a lake.



3. Lots Adjacent to Common Areas

Lots that back onto or have a side exposed to a common area may have detached garages positioned on either side of the lot as long as the plan meets the Driveway Location Plan requirements.

D. Driveways

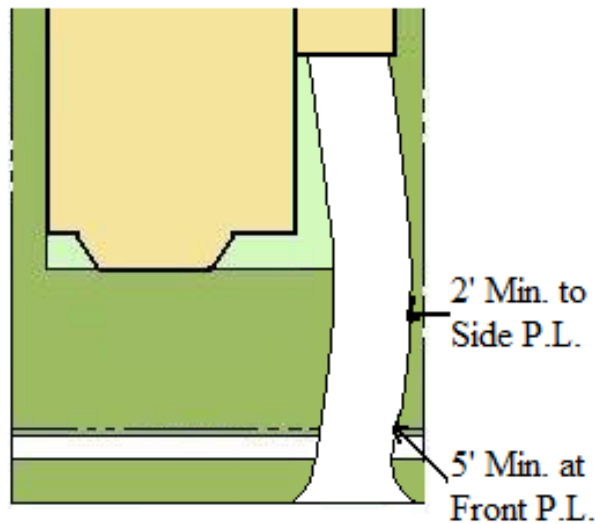
Refer to Ordinances for Infrastructure Standards.

1. Widths

Garage Type	Number of Cars	At Face of Garage	At Property Line
Front Loaded	Two (2) Car	17' Maximum	12' Minimum 17' Maximum
	*Three (3) Car	27' Maximum	12' Minimum 20' Maximum
Rear Loaded	Two (2) Car Detached	17' Maximum	12' Minimum 17' Maximum
	*Three (3) Car Attached	27' Maximum	12' Minimum 20' Maximum
Swing In	Two (2) Car	17' Maximum	12' Minimum 17' Maximum
Three (3) car garages allowed on 80' Lots or larger.			
Back-up space to be no greater than thirty feet (30') from face of garage to side property line.			

2. Side Setbacks

Driveways shall be located no closer than two feet (2') from the side property line and may abut the concrete slab of the house if necessary. The driveway must also be setback five feet (5') from the side property line at the front property line to allow room for the five feet (5') driveway turning radius.



3. Side-By-Side

Detached garages with Side-by-side driveways on neighboring lots must be kept to a minimum. These driveways must have a fence between each drive. See fencing for Side-by-Side fencing details.

4. Materials Permitted

Concrete required for 50' – 85' lots. Stamped or colored concrete, exposed aggregated concrete, interlocking concrete pavers and brick borders must receive prior ARC approval.

5. Materials Prohibited

Asphalt paving, loose gravel and stone, timber borders.

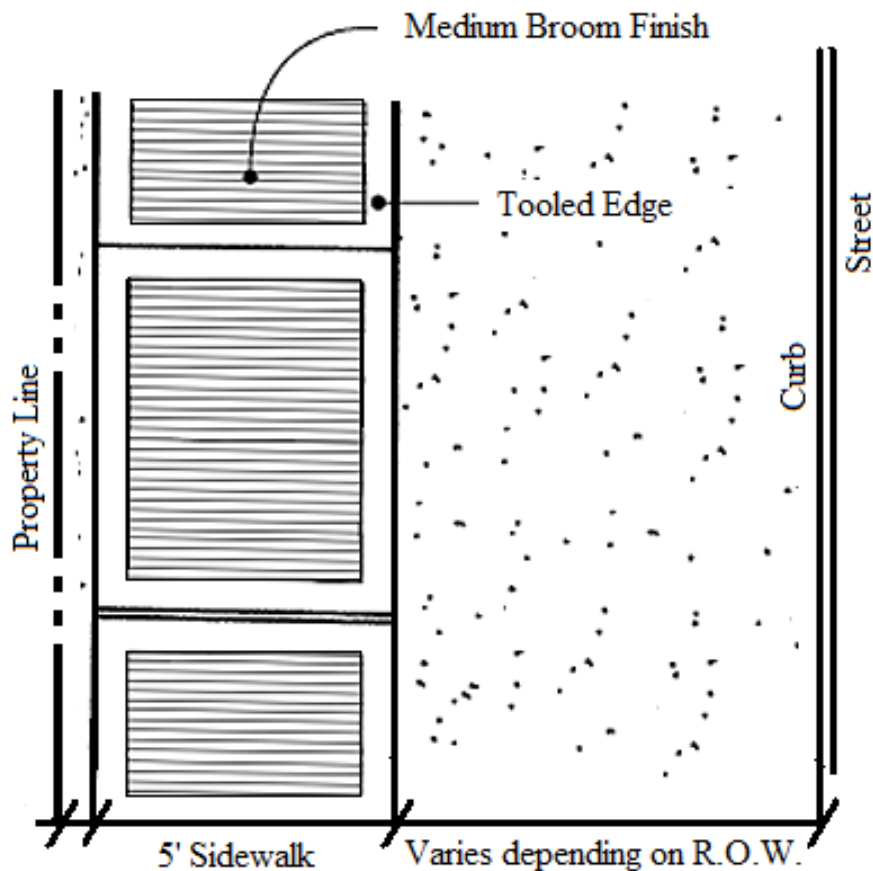
6. Prohibited Driveways

Dual driveways on a single lot are not permitted. For instance, a driveway through a porte-cochere and another driveway alongside the porte-cochere to access the rear-loaded garage is not permitted. Circular driveways are only permitted on custom lots.

E. Sidewalks

1. General

A five foot (5') concrete sidewalk must be constructed by each lot builder. No abrupt curves or sharp angles will be allowed. Manholes and valve boxes must be flush with the concrete paving to insure pedestrian safety. Where sidewalks cross driveways with decorative paving, the standard sidewalk design does not have to be carried through the driveway. Where sidewalks cross a walkway with decorative paving, the standard sidewalk design must be carried through the walkway. Refer to Missouri City and Sugar Land Ordinance Infrastructure Standards. City does not pay for repairs on decorative paving.



2. Placement

Sidewalk placement is determined by the street R.O.W.

Right of Way	Placement
60' R.O.W.	*Minimum 9' from back of curb
50' R.O.W.	*Minimum 6' from back of curb
Knuckle and Cul-de-Sac	Property Line
*Recommended to be on the Property Line	



F. Walkways

1. General

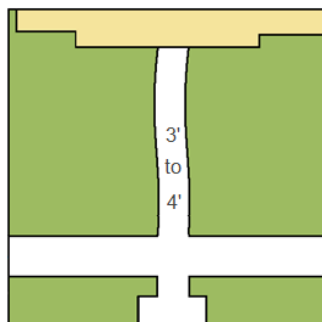
Concrete required for all lots 50' – 85'. Materials other than concrete must receive prior ARC Approval.

a. 50' – 60' Lots

Three feet (3') minimum to four feet (4') maximum must be constructed from the front door to the driveway. A landscape strip must be provided between the sidewalk and the slab of the house and garage.

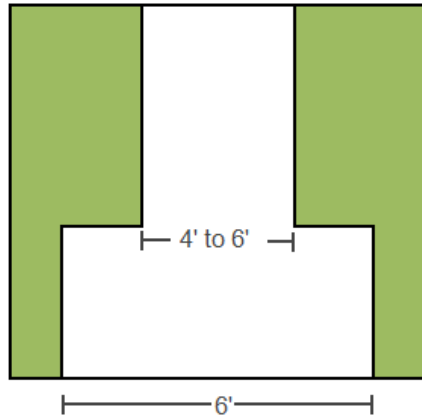
b. 65' – 85' Lots

Four feet (4') minimum to six feet (6') maximum must be constructed from the front door to the street curb. Curvilinear sidewalks are required (see sketch).



c. Landings

A four foot (4') by six foot (6') wide concrete landing between the sidewalk and curb is required.



d. Handicap ramps

Permitted from the driveway to the front porch. A walkway between the front porch and the street is still required, except for 60' lots.

G. Fencing

1. General: Wood

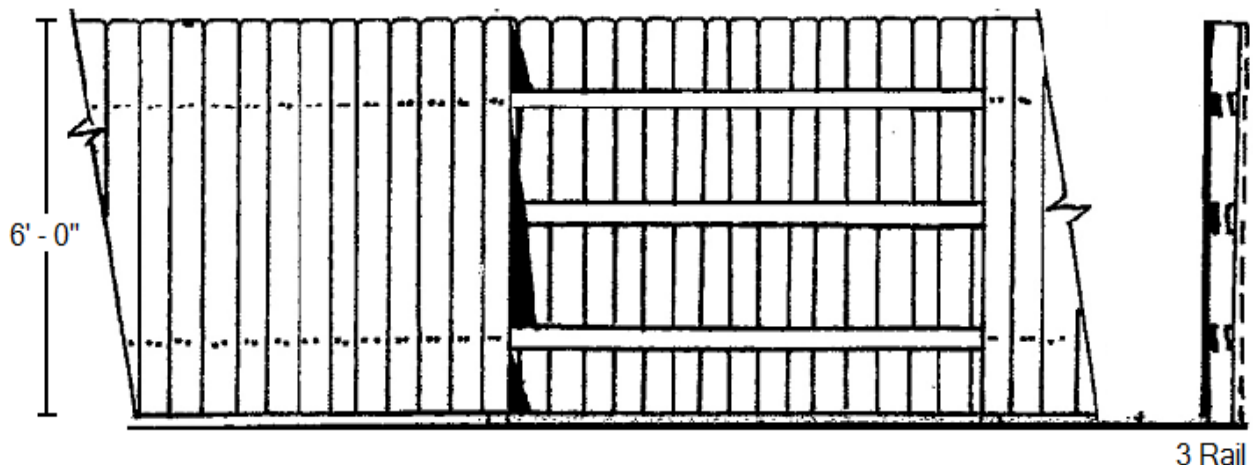
The builder is responsible for installing a fence along the rear and side property lines of each lot where fencing is required and shown on the Fence Plan for each section. Fencing is not permitted in the front yard of any lot, other than Estate Custom lots. All front fencing must have a minimum five foot (5') to maximum fifteen foot (15') setback from front corners of the front elevation.

All Wood fencing must be constructed with six foot (6') one inch (1'') by six inch (6'') REAL *cedar* pickets with four (4'') by four (4'') pressure treated vertical wood posts and a three (3) rail system.

All fencing within public view that is thirty feet (30') or more require a landscape buffer centered along fence line. Fencing more than sixty (60') require two (2) landscape buffers spaced evenly along fence line. See Minimum Landscape Requirements.

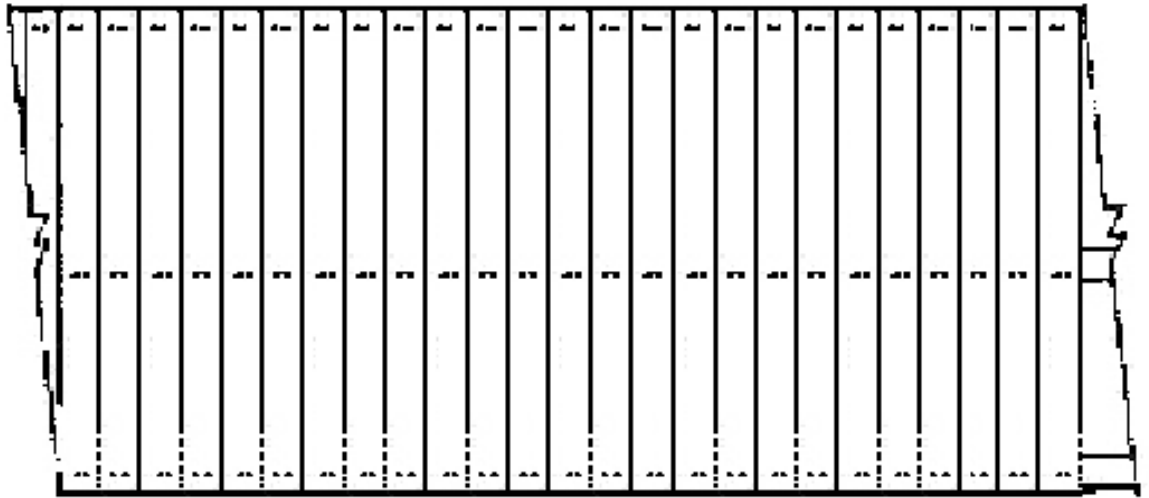
a. Good Neighbor Wood Fence

All wood fencing not within public view to be Good Neighbor Wood Fence with alternating good side out panels.



b. Good Side Out Wood Fence

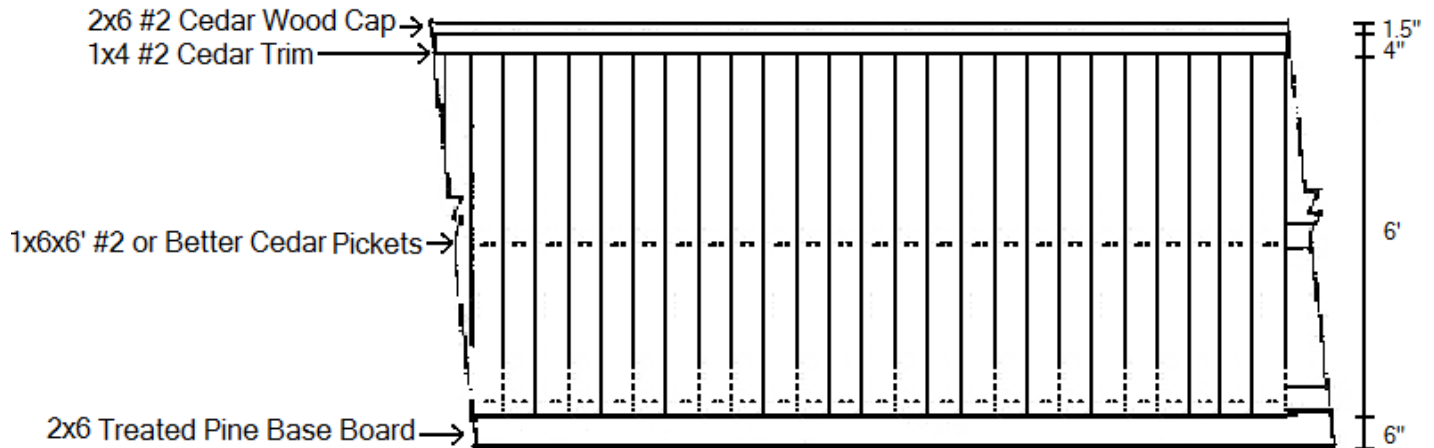
All wood fencing within public view to be Good Side Out.



c. Upgraded Wood Fence

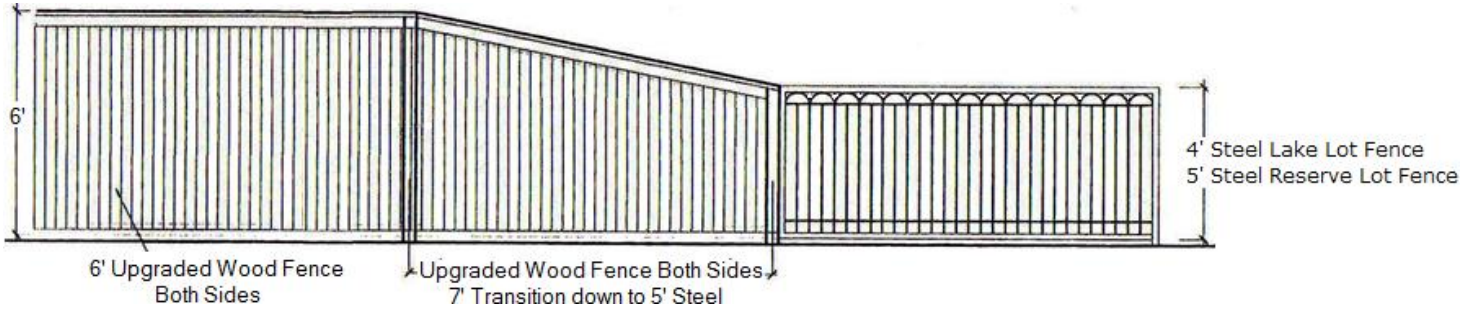
All wood fencing along corner lots must be Good Side Out Wood with cap rail and fascia, and six inch (6") kickboard.

Corner lot fencing must be setback five feet (5') from the back of the sidewalk. Upgraded Wood Fence must extend along corner side to rear property line.



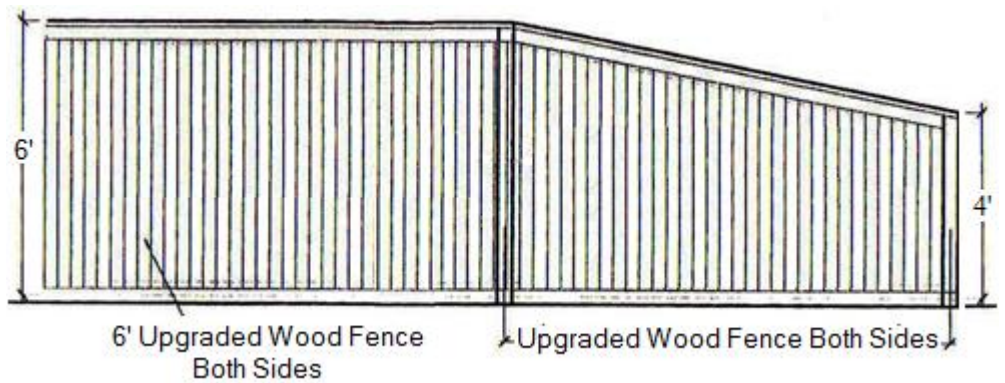
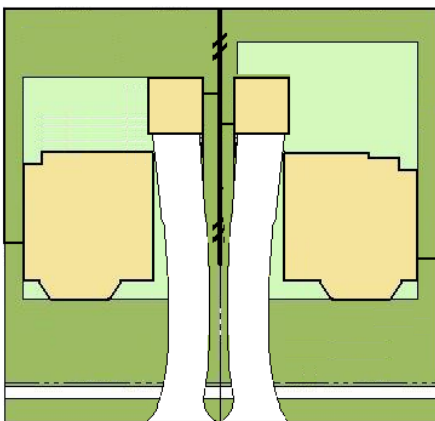
d. Lake and Reserve Lot Fence

All wood fencing within public view to be Good Side Out Wood on both sides with cap rail and fascia along the side property line, with a one seven foot (7') panel transition from six foot (6') wood to meet steel. Four foot (4') steel fence for Lake Lots and five foot (5') steel fence for Reserve Lots.



e. Side By Side Driveway Fence (with Detached Garages)

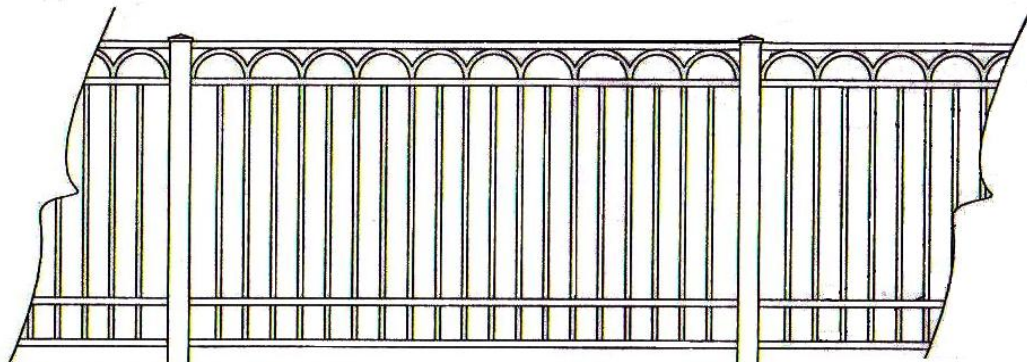
A six foot (6') upgraded cap, rail, wood fence, good side on both sides must be installed along the property line, extending to a point at least ten feet (10') from the front elevation of the residence for detached garages. Must transition from six feet (6') to four feet (4') in the last panel.



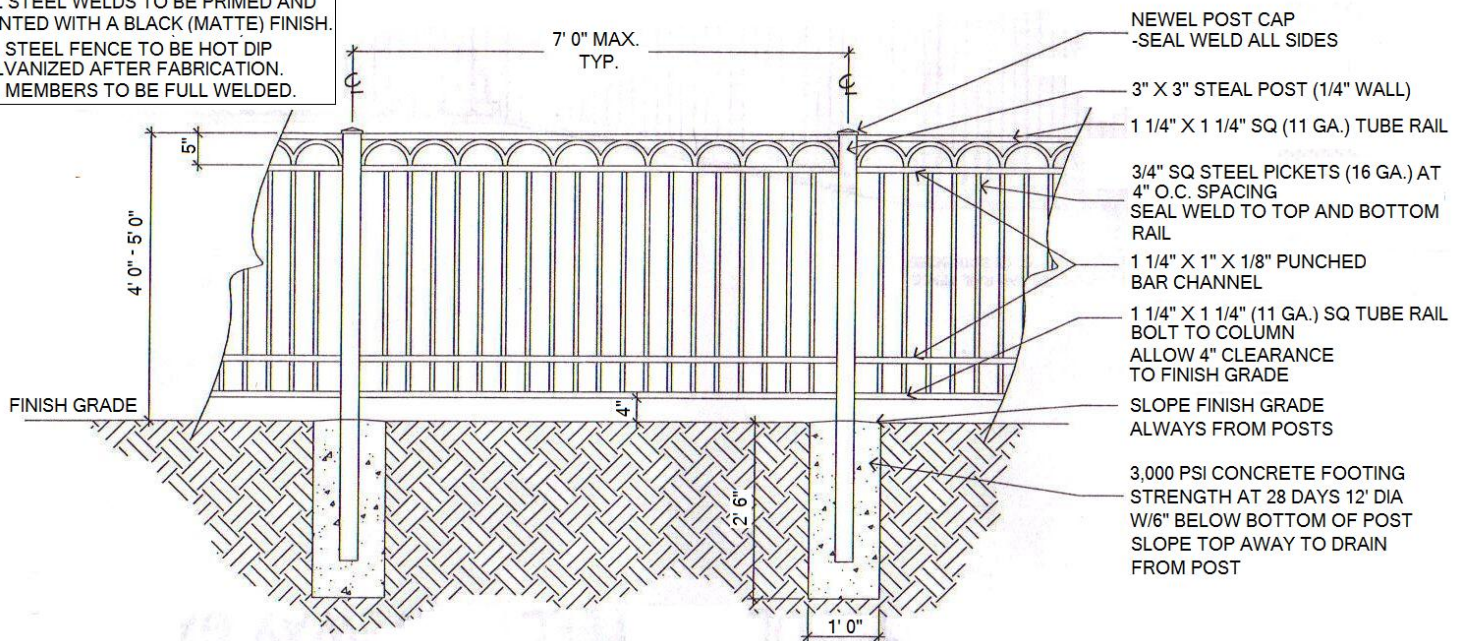
2. General: Steel

The builder is responsible for installing a fence along the rear and side property lines of each lot where fencing is required and shown on the Fence Plan for each section. Fencing is not permitted in the front yard of any lot, unless approved for specific custom sections. All front fencing must have a minimum five foot (5') to maximum fifteen foot (15') setback from corner of the front elevation.

All tubular steel fencing must conform to the standard identification. All steel fences are to be hot dip galvanize after fabrication. Welds must be sanded or brushed and primered to prevent rusting. Primer must be epoxy or steel and structural primer. All fencing must be primer-coated. Paint must be polyurethane or oil based enamel paint. Paint must be black semi-gloss only.



- NOTES:
1. GRIND SMOOTH ALL WELDS. POST AND PICKETS SHALL BE PLUMB.
 2. ALL STEEL WELDS TO BE PRIMED AND PAINTED WITH A BLACK (MATTE) FINISH.
 3. ALL STEEL FENCE TO BE HOT DIP GALVANIZED AFTER FABRICATION. ALL MEMBERS TO BE FULL WELDED.



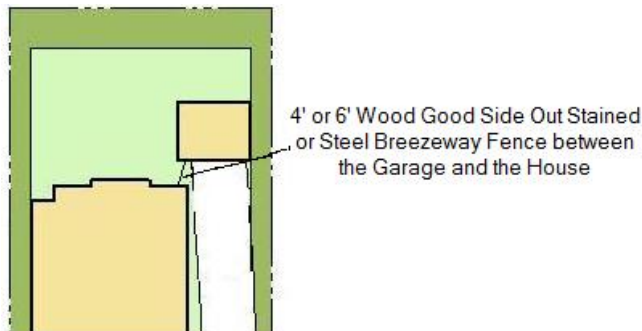
a. Lake and Reserve Lot Fence

All steel fencing to be installed as shown on the Fence Plan for each section.

H. Breezeways and Gates

1. Breezeways

A four foot (4') or six foot (6') breezeway fence is required. Fences must be either wood good side out, steel or brick with steel gate.



2. Pedestrian Gates

a. Wood Gates for wood fencing:

A three foot (3') wide wood pedestrian gate may be located along the side yard facing the front street of a residence with the front loaded or side loaded garage, or the side yard opposite the rear wall of the garage for a swing-in garage. All interior gates must be upgraded wood. Gates are not permitted along rear property line or corner side property line fencing. All corner lot gates must be upgraded wood on corner side of lot.

b. Steel Gates for steel fencing:

A three foot (3') wide steel pedestrian gate may be located along the rear fence line of lots bordering lakes. Gates larger than three feet (3') in width are not permitted. Gates must match steel fence along the lake. No ornamentation, arbor, archways, etc may be added to a gate.

c. All Steel Pedestrian Gates must go through ARC for approval.

3. Driveway Gates

Driveway gates must be steel only constructed according to the standard identified in the Appendix. As a result of the installation of a driveway gate if any additional wood fencing must be installed along the side or front property line, that fencing must be an upgraded fence on both sides. Driveway gates are not permitted on front loaded garages.

All Driveway Gates must go through ARC for approval.

I. Grading, Drainage, Berms

All lots have been graded from rear to front with a minimum slope of one percent (1%). Each lot must drain directly to the street without crossing property lines. For lots along the lake, a maximum setback equal to width of utility easement the rear of the lots may drain towards the lake, but in no instance shall lots be allowed to drain across rear property lines into the lake with storm drain pipes. In no instance may a builder or homeowner be allowed to construct a retaining wall at the rear of the lot along a lake. Lots may not be regraded along the rear thirty feet (30') of the lot without express approval of the ARC. Berms used for screening or aesthetics may not exceed a maximum slope of 4:1 for sodded berms and 3:1 for landscaped berms. Maximum height limited to three feet (3'). Rigid berms shaped like half of a cylinder are not permitted. Berms are not permitted in the front yards.

III. Architectural Guidelines

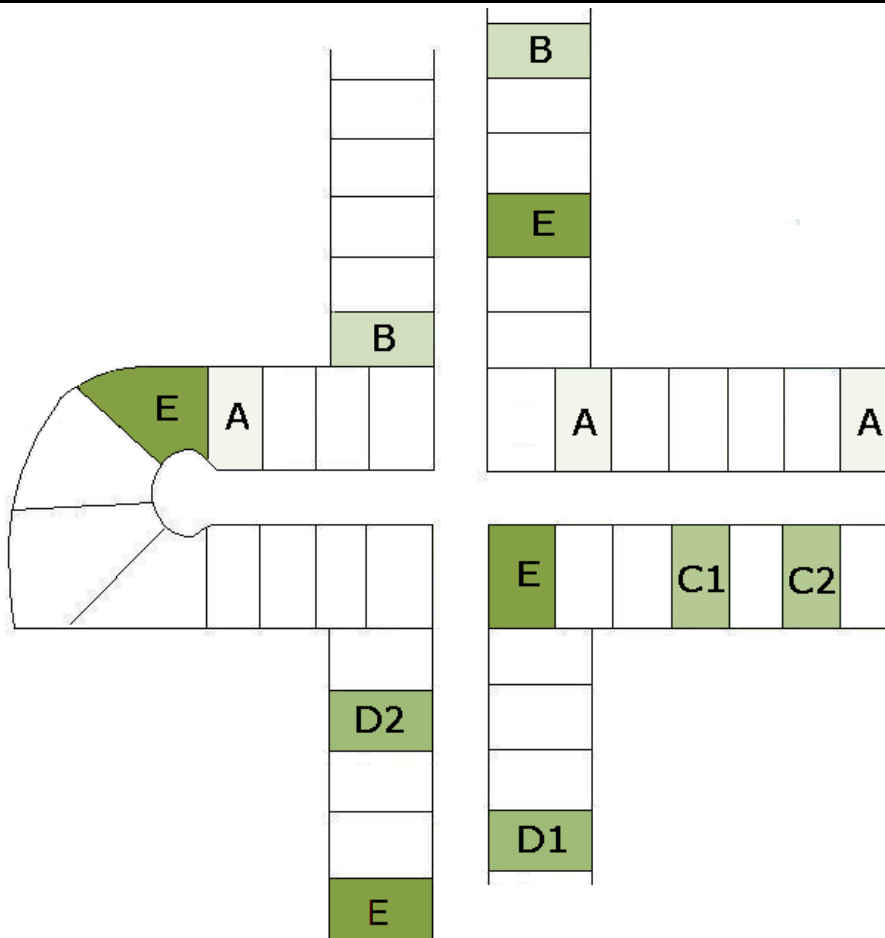
The intent of this section is to establish basic criteria for the construction of residences, garages, and other structures. Construction must be of the highest quality and builders are required to comply with the regulations of the Home RWC Warranty. Emphasis is on quality. These guidelines allow for diversity in design and should produce a climate of individuality, while insuring the architectural integrity of the community as a whole. Imaginative plan geometry and articulated plans, which deviate from the rectangular box or “shoebox” form, are required. Priority must be given to those sides of a residence that are visible from streets, lakes, and common areas. The ARC has the right to implement additional Plan Spacing and Repetition requirements as needed on a case by case basis.

A. Plan Width

Master Plans width may be no less than fifteen feet (15’) of Lot Size.

B. Plan Spacing and Repetition

A	Same Plan Same Elevation, same side of the street	4
B	Same Plan Same Elevation, different side of the street	4
C1, C2	Same Plan Different Elevation, same side of the street	1
D1, D2	Same Plan Different Elevation, different side of the street	1
E	Same Plan Same Elevation on a different street	4



C. Masonry Requirements

Lot Size	# of Stories	1st Floor Masonry	2nd Floor Masonry
50'	1	100%	
	2	100%	30%
55'	1	100%	
	2	100%	30%
60'	1	100%	
	2	100%	30%
65'	1	100%	
	2	100%	30%
70'	1	100%	
	2	100%	30%
80'	1	100%	
	2	100%	100% where possible
85'	1	100%	
	2	100%	100% where possible
Rear and Side Elevations of 2 story homes along major thoroughfares must be 100% masonry where possible.			

D. Exterior Materials

1. Masonry

Masonry is considered brick, stucco or stone. The use of brick, stone and/or stucco to create a rustic, distressed, or “Old World” look is prohibited.

Material changes shall not occur at a front outside corner of a home. This technique of "shirt fronting" masonry veneer is prohibited. See exhibit. Masonry must wrap a minimum of four feet (4’).



Prohibited “Shirt Fronting”

a. Brick

Must meet the standard specifications established by the Brick Institute of America.

b. Stucco

Cementitious-based or acrylic-based stucco is permitted. Quality and installation shall meet cement and plaster institute minimum standards. Stucco board, EFIS and Dryvit finishes are prohibited. Stucco and trim color must be the same.

c. Stone and Cultured Stone

Stone must blend softly with the other materials used. Stone placement must receive prior ARC approval.

2. Wood

All wood must be painted, stained or treated. Stained wood must be sealed. Natural weathered wood is prohibited. Hardi-plank is not considered wood.

a. Trim

All wood trim must be smooth, high quality finish-grade stock, stained or painted as approved by ARC. The use of MDO (Medium Density Overlay) will be allowed.

3. Siding

Concrete Hardi-plank is permitted. Metal, reflective aluminum or vinyl siding are prohibited.

4. Metal

Exposed metals shall be anodized aluminum, bronze, copper or painted galvanized steel.

E. Exterior Colors

Maximum of three (3) colors per residence. Wood stain is considered a color. Paint colors must harmonize or complement the masonry material(s). Pastel and primary colors are prohibited unless used on doors or shutters, must receive prior ARC approval.

F. Plate Height

Minimum 9' first floor Plate Height

G. Windows

1. Materials

Wood, metal, vinyl-clad, and glass block windows may be used. Metal window finishes shall complement the color and architectural style of the house. Clear anodized aluminum is prohibited.

2. Tinting

Energy conservation window tinting is encouraged. Must receive prior ARC approval. Bronze, reflective glass, mirrored glazing or tinting are prohibited.

3. Burglar or security bars, wrought iron ornamentation, sunscreens and awnings are prohibited. Except for Custom Home ornamentation with iron.

H. Chimneys

1. Materials

Chimneys must be constructed of masonry that match and complement the architectural style of the home.

a. Chimney caps

Sheet metal chimney caps are required on all chimneys and are to be painted to match the chimney material.

b. Gas Fireplaces

Direct vent permitted if not visible from the street.

I. Roofs

1. Materials

30-yr warranty composition shingles. Roof color, standing seam metal, clay tile must receive ARC approval. Garage and breezeway roofs must be same material as the house.

a. Colors

Black or dark gray shingles are only permitted.

b. Metal

Copper roofing and standing seam metal, for Bay windows and porches, is permitted with prior ARC approval. All other exposed roof metal must be located to the rear or side slopes, away from public R.O.W.'s and must match roof color.

2. Forms

Roof pitches must be 6:12 or greater. Roof pitches over porches must be 4:12 or greater. Dormers must be no less than 3:12. Garage roof pitch may not exceed the roof pitch of the house nor exceed the height of the house.

3. Roof Top Accessories

Antennas, towers, satellite dishes or similar devices for receiving and/or sending signals are permitted. Placement must be in the least obtrusive location of the rear yard, no higher than the highest point of the rear line of the residence and must not be visible from the street. Must receive prior ARC approval.

a. Skylights

Skylights must be integrated into the roof and follow the roof design in a manner parallel to the roof pitch. The skylight glazing should be clear, solar bronze or gray. Framing must match the roof color. Placement requires prior ARC approval.

b. Solar Collectors

Solar collectors must not be placed within public view. Placement requires prior ARC approval.

J. Garages

1. General

Minimum of a two (2) car garages is required for every lot.

2. Attached Garages

a. Front Loaded Three Car Garage

50'-70' Lots: Three Car Garage prohibited.

80', 85' Lots: Must be setback a minimum of five feet (5') from the front elevation.

b. Storage

All Lots: Additional storage is permitted with a maximum of ten feet (10').

3. Detached Garages

Detached garages are not permitted on houses backing a Lake. All elevations within public view on common areas, greenbelts or parks must be masonry. The front of a detached garage must be the same materials as the house. At a minimum the remaining three (3) sides must have siding. Detached garages in the rear of a home will be allowed one pedestrian door.

4. Swing In or Side Loaded Garages

Two (2) car garages only. Swing-in or side loaded garage doors that face the entry into a section, the entry to a cul-de-sac or court, or face each other are prohibited.

5. Porte Cocheres

Must be an integral component of the building architecture. The side yard setback is the same as the home.

K. Garage Doors

1. General

Metal, paneled construction, "carriage house" doors is required for all garages. Wood garage doors are reserved for Specialty Products. Maximum height of eight feet (8'). Single doors will be permitted on garages setback a minimum of sixteen feet (16') from the front elevation or on a garage contained within a porte-cochere sixteen feet (16') in depth or more. Single door on garages setback less than sixteen feet (16') from the front elevation are prohibited

2. Front Loaded Garages

All Lots: Two (2) single doors separated by a column preferred.



3. Detached Garages

The double door should be placed on the breezeway side of the garage. The single door should be placed on the side of the garage nearest the adjacent side property line. The opposite condition may be allowed if the single door is to be “bricked or stuccoed in” if the homeowner chooses to use this side for a use other than vehicle storage. Must receive prior ARC approval.

L. Railing

Railing may only be tubular steel painted black approved stylized wrought iron to match the architecture of the house or painted decorative wood railing. Pressure treated deck railing is prohibited.

M. Lighting

1. General

Cast aluminum or brass fixtures are permitted. Colored lighting, exposed transformers and wiring, “spill over” lighting onto neighboring yards or properties, streets or public spaces are prohibited. Use of barn doors or glare shields is encouraged to avoid spill over onto adjacent streets and drives. Above ground fixtures must be screened with plantings. All exterior lighting must receive prior ARC approval.

N. Screening

All mechanical equipment, air conditioning units, meters, utility pedestals, transformers, must be screened with landscaping or fencing when within public view.

O. Addresses

Precast concrete community standard for all residence.

P. Signage

1. General

The image presented by the signage must be appropriately dignified and proportionately scaled to the street, location and architecture. Signage may only be lit from in ground (also known as direct burial) or flood lights and mini-flood lights.

2. Temporary

Temporary sign no greater than six (6) square feet on private property only. For Sale Signs: One per lot maximum area five (5) square feet and professionally manufactured.

Q. Mail Clusters

U.S. Post Office standard mail clusters will be installed at appropriate locations.

IV. Landscape Guidelines

A. General

The Landscape Guidelines provide minimum requirements for site improvements. The objective is to utilize the minimum requirements of the Architectural Guidelines to create an orderly planned landscape. Front yard landscaping will combine street trees, shrubs, ground covers and grasses from the Preferred Plant list, which includes street trees. The corner lot landscaping will also follow the Preferred Plant List.

All plant material shall be sound, healthy specimens typical of their species, with well-formed tops and roots, and shall be free from all injurious insects, insect eggs or larvae, diseases, serious injuries to bark, root or foliage, broken branches, or any other types of disfigurement. Plant proportions shall be those recognized as normal for a well-grown plant of that species and size, as recommended by the American Standard for Nursery Stock. Installation of all plants must conform to the standards of the American Association of Nurserymen. All plants that fail to make new growth from a dormant condition, decline or die shall be replaced. A plant is considered dead if at least 50% of its growth is dead. All replacements shall conform to the original intent of the planting design. The ARC reserves the right to require the builder to replace plants that do not meet these requirements.

1. Front Yard Landscape

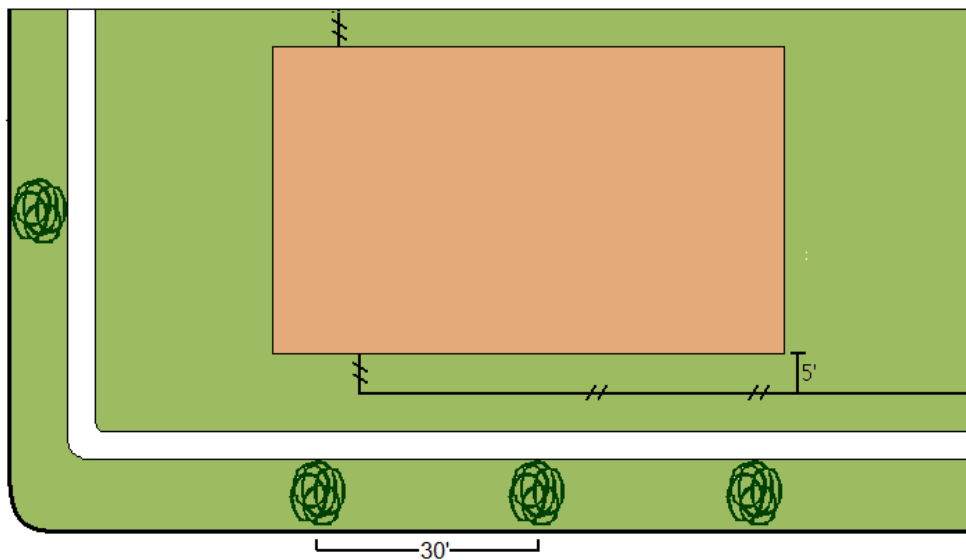
Planting beds shall be curvilinear with the shrubs massed in tiers. Smaller shrubs and ground cover should be placed in the front of the bed. Larger shrubs placed in the rear of the bed. Groupings of shrubs of the same species provide a substantial look. See Interior Front Yard Requirements per Lot Size or section.

2. Rear with View Yard Landscape

All rear yards with a view require a minimum level of Landscaping. See Rear Yard with View Requirements.

3. Corner Lot Landscape

Corner Lots whose side yards face a street must have Corner Lot Landscaping along the fence facing the street. Street trees are also required *every* thirty feet (30') along the side street. See Corner Lot Landscape and Street Trees Requirements.

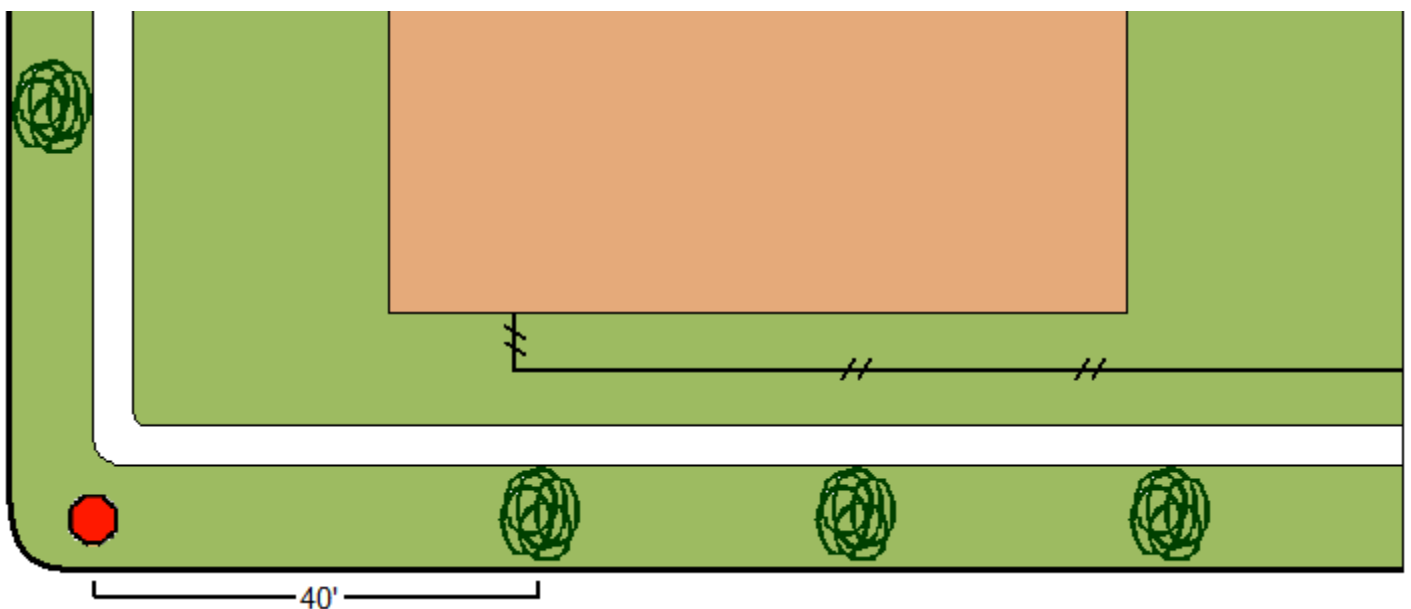
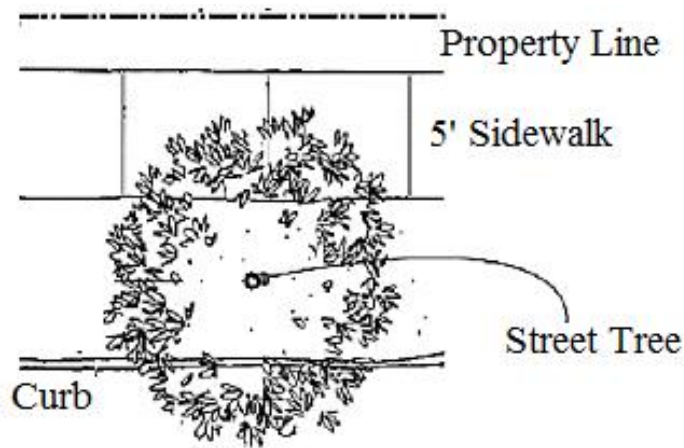


4. Street Trees

Street trees must be installed according to the Landscape requirements for each section according to lot size.

- a. Tree calipers are measures twelve inches (12") from the root ball of the tree.
- b. Must be no closer than forty feet (40') from stop signs.
- c. Trees needing to be closer than forty feet (40') must receive ARC approval prior to installation.
- d. Corner Lots a street tree is required every thirty feet (30') along the corner side street.
- e. Lots not able to install a Street tree must install a Front Yard tree, with ARC approval.

Street Trees:



B. Planting Beds

1. General

Planting beds must be a minimum depth of five feet (5') from front elevation. Mulch with shredded hardwood bark is required along with required landscape requirements. Mulch colors are subject to prior ARC approval. Gravel or rock mulch is prohibited.

2. Edging

Ryerson steel edging (or similar), brick set in mortar or natural stone are permitted. Plastic, loose brick, concrete scallop, corrugated aluminum or plastic, wire wickets, railroad ties or timbers are prohibited edging. Wire or small picket fencing, continuous concrete bands are also prohibited.

3. Mulch

Red mulch is prohibited.

C. Sod:

All Front, side and rear yards must be sodded with Bermuda.

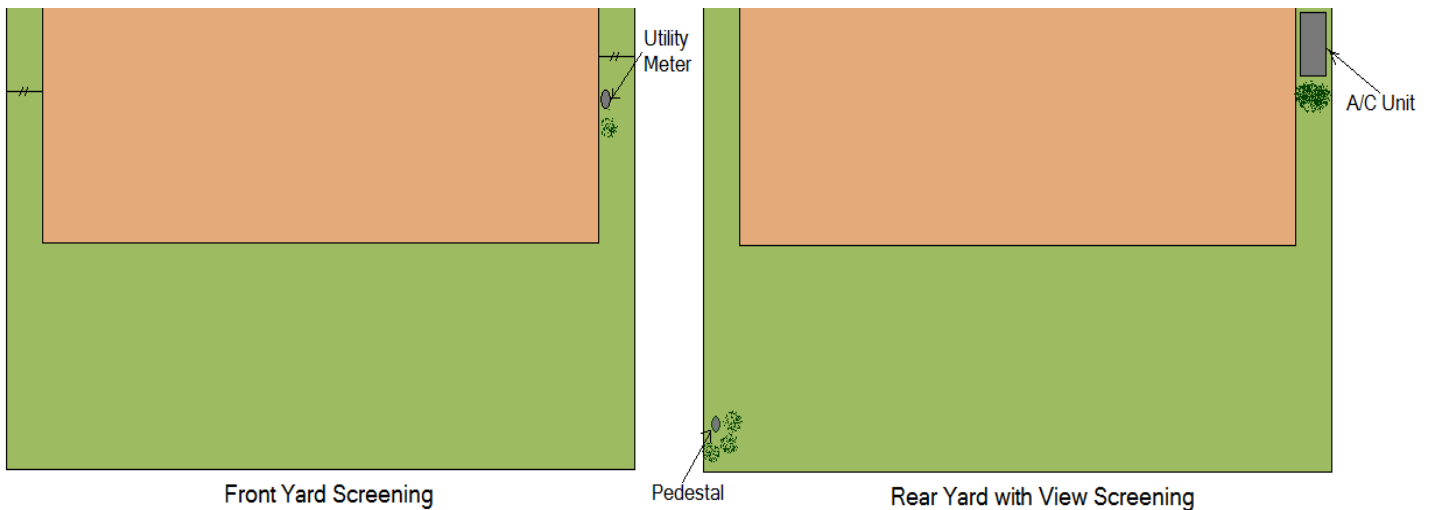
D. Screening

1. Foundation

All foundation visible from public view must be screened with evergreen landscape.

2. Mechanical

All mechanical equipment such as air conditioning units, meters, utility pedestals, transformers, etc. must be screened from public view lots. Equipment not able to be placed out of public view must have landscape screening with evergreen shrubs. See Preferred Plant List for screening options.



E. Irrigation

All Lots 80' or larger require front yard irrigation. Golf course and Lake Lots require rear yard irrigation.

All lots with underground automatic irrigation systems must have a minimal overthrow onto paved areas using the current standards at time of installation. All equipment for such systems must be screened from public view with evergreen shrubs. See Preferred Plant List for screening options.

F. Minimal Landscape Requirements

Front Yard Requirements							
Lot Size	50'	55'	60'	65'	70'	80'	85'
Street Trees	1 4" Caliper Live Oak (3' from back of curb)			2 4" Caliper Live Oaks (3' from back of curb)			2 5" Caliper Live Oaks (3' from back of curb)
Ornamental	1 30 Gallon				2 30 Gallons		3 30 Gallons
Shurbs, Plants and Ground Cover	1 15 Gallons		2 15 Gallons		3 15 Gallons	4 15 Gallons	
	10 5 Gallons		15 5 Gallons	20 5 Gallons		25 5 Gallons	
	25 1 Gallons		30 1 Gallon	40 1 Gallons	50 1 Gallons	60 1 Gallons	
Foundation Screening	Evergreen Shrubs						
Note: There are NO Front Yard Trees Required							

Rear Yard with View Requirements							
Lot Size	50'	55'	60'	65'	70'	80'	85'
Yard Trees	1 30 Gal. Live Oak		2 3" Caliper Live Oaks				
Shrubs, Plants and Ground Cover	0			2 15 Gallons			
	10 5 Gal.					12 5 Gal.	
	25 1 Gal.					30 1 Gal.	
Foundation Screening	Evergreen Shrubs						

All Corner Lot		
Side Street Trees	*1 4" Caliper Live Oak every 30'	
Ornamental Trees	3 15 Gal.	Over a 30' Span
Shrubs	15 5 Gal	
*Street trees must be placed <i>no closer</i> than 40' from Stop Signs		

Patio Specialty Product		
Yard Type	Front Yard	Rear Yard with View
Front Street Trees	1 5" Caliper Live Oak (3' from back of curb)	2 3" Caliper Live Oaks
Shrubs, Plants and Ground Cover	4 15 Gallons	2 15 Gallons
	15 5 Gallons	15 5 Gallons
	25 1 Gallons	40 1 Gallons
	Palm trees as accents	
Foundation Screening	Evergreen	

G. Preferred Plant List

<i>Botanical Name</i>	<i>Common Name</i>	<i>Size</i>	<i>Remarks, Minimum Heights, Caliper, and Spread</i>
CANOPY TREES			
<i>Carya illinoensis</i>	Pecan	MM	3" cal., 12-14' Ht., 6-7' spr., full branching
<i>Magnolia grandiflora</i>	Southern Magnolia	MM	3" cal., 12-14' Ht., 6-7' spr., full branching
<i>Pistache chinensis</i>	Chinese Pistache	MM	3" cal., 12-14' Ht., 6-7' spr., full branching
<i>Quercus macrocarpa</i>	Burr Oak	MM	3" cal., 13-15' Ht., 10-12' spr., full branching
<i>Quercus nigra</i>	Water Oak	MM	3" cal., 13-15' Ht., 10-12' spr., full branching
<i>Quercus shumardii</i>	Shurmartd Oak	MM	3" cal., 12-14' Ht., 6-7' spr., full branching
<i>Quercus texana</i>	Red Oak	MM	3" cal., 12-14' Ht., 6-7' spr., full branching
<i>Quercus virginiana</i>	Live Oak	MM	3" cal., 13-15' Ht., 10-12' spr., full branching
<i>Ulmus parvifolia</i> 'Drake'	Drake Elm	MM	13-15' Ht., 10-12' spr., 3-1/2" cal., full branching
EVERGREEN TREES			
<i>Ilex opaca</i>	American Holly	45 gal	8-10' Ht., 5-6' spr., full branching
<i>Ilex opaca</i> Savannah	Savannah Holly	45 gal	8-10' Ht., 5-6' spr., full branching
ORNAMENTAL TREES			
<i>Chionanthus virginica</i>	Chinese Fringe Tree	30 gal.	10-12' Ht., 5-6' spr. 2--2-1/2" cal. full branching
<i>Crateagus marshalli</i>	Parsley Hawthorn	30 gal.	10-12' Ht., 5-6' spr., 2--2-1/2" ca., 4-6 canes, full branching
<i>Diospyros kaki</i>	Japanese Persimmon	30 gal.	10-12' Ht., 5-6' spr., 2--2-1/2" ca., 4-6 canes, full branching
<i>Koelruteria bipinnata</i>	Golden Rain Tree	30 gal.	10-12' Ht., 5-6' spr., 2--2-1/2" ca., 4-6 canes, full branching
<i>Lagerstroemia indica</i>	Crape Myrtle	30 gal.	10-12' Ht., 5-6' spr., 2--2-1/2" cal., 4-6 canes, full branching
<i>Magnolia liliiflora</i>	Lily Magnolia	30 gal.	10-12' Ht., 5-6' spr., 2--2-1/2" cal., 4-6 canes, full branching
<i>Magnolia soulangeana</i>	Saucer magnolia	30 gal.	10-12' Ht., 5-6' spr., 2--2-1/2" cal., 4-6 canes, full branching
<i>Magnolia stellata</i>	Star Magnolia	30 gal.	10-12' Ht., 5-6' spr., 2--2-1/2" cal., 4-6 canes, full branching
<i>Magnolia virginiana</i>	Sweet Bay Magnolia	30 gal.	10-12' Ht., 5-6' spr., 2--2-1/2" ca., 4-6 canes, full branching
<i>Prunus mexicana</i>	Mexican Plum	30 gal.	10-12' Ht., 5-6' spr., 2--2-1/2" ca., full branching
<i>Pyrus calleryana</i> 'Aristocrat or Capitol'	Flowering Pears	30 gal.	10-12' Ht., 5-6' spr., 2--2-1/2" ca., full branching

15 Gal. SHRUBS		
Abelia	Abelia	15 gal
Anisacanthus wrightii	Flame Acanthus	15 gal
Callistemon citrinus, 'Austraflora', 'Firebrand', 'Little John', and 'Splendens'	Dwarf Bottlebrush	15 gal
Cortaderia selloana 'Pumila'	Dwarf Pampas Grass	15 gal
Cygas Revoluta	Sago Palm	15 gal
Dietes iridioides	Butterfly Iris	15 gal
Eryobotrya japonica	Loquat	15 gal
Feijoa sellowiana	Feijoa	15 gal
Fortunella	Kumquat	15 gal
Ilex cornuta 'Burfordii compacta'	Dwarf Burford Holly	15 gal
Ilex cornuta 'Rotunda'	Chinese Holly	15 gal
Ilex vomitoria 'Nana'	Dwarf Yaupon	15 gal
Iris louisiana	Louisiana Iris	15 gal
Lagerstroemia indica 'Nana'	Dwarf Crape Myrtle	15 gal
Ligustrum japonicum	Ligustrum	15 gal
Ligustrum lucidum	Waxleaf Glossy Privet	15 gal
Loropetalum chinense 'Monraz'	Fringe Flower Razzleberri	15 gal
Meuhlenbergia lindheimeri	Muhly Grass	15 gal
Miscanthus sinensis 'Morning Light'	Dwarf Maiden Grass	15 gal
Miscanthus sinensis var.	Maiden Grass	15 gal
Myrica pusilla	Dwarf Wax Myrtle	15 gal
Nandina domestica	Nandina	15 gal
Nerium oleander	Oleander	15 gal
Nerium oleander 'Petite Pink'/'Little Red'	Dwarf Oleander	15 gal
Pittosporum tobika	Pittosporum	15 gal
Pittosporum tobika variegated	Variegated Pittosporum	15 gal
Plumbago auriculata	Plumbago	15 gal
Punica granatum 'Nana'	Dwarf Pomegranate	15 gal
Raphiolepis indica 'Clara'	Indian Hawthorn	15 gal
Spirea prunifolia	Bridal Wreath Spirea	15 gal
Ternstroemia gymnathera	Japanese Cleyera	15 gal
Viburnum	Sweet Viburnum	15 gal

3-5 Gal. SHRUBS		
Abelia spp.	Abelia	3-5 gal
Anisacanthus wrightii	Hummingbird Bush	3-5 gal
Aucuba japonica	Aucuba	5 gal.
Azalea indicum	Indica Azalea	5 gal.
Buddleia davidii	Butterfly Bush	5 gal.
Buxus spp.	Boxwood	3-5 gal
Callistemon citrinus ‘Austraflora’, ‘Firebrand’, ‘Little John’, ‘Splendens	Dwarf Bottlebrush	5 gal.
Callicarpa Americana	American Beauty Berry	5 gal.
Camellia spp.	Camellia	5 gal.
Cassia corymbosa	Flowery Senna	5 gal.
Chaenomeles japonica	Flowering Quince	3-5 gal
Clyera japonica	Japanese Cleyera	5 gal.
Elaeagnus macrophylla	Elaeagnus Ebbeningei	5 gal.
Eleagnus fruitlandi	Silverberry	5 gal.
Eryobotrya japonica	Loquat	5 gal.
Gardenia spp.	Gradenia	3-5 gal
Ilex cornuta ‘Burfordii’ compacta	Dwarf Burford Holly	5 gal
Ilex vomitoria ‘Nana’	Dwarf Yaupon	3-5 gal
Juniperus	Juniper species	3-5 gal
Lagerstroemia indica “dwarf”	Dwarf Crape Myrtle	5 gal.
Ligustrum lucidum	Glossy Privet	5 gal.
Ligustrum japonicum	Wax Leaf Ligustrum	5 gal.
Lonicera fragrantissima	Winter Honeysuckle	3-5 gal
Myrica cerifera	Southern Wax Myrtle	5 gal..
Myrica pussila	Dwarf Wax Myrtle	3-5 gal
Nandina domestica	Dwarf Nandina varieties	5 gal.
Nerium oleander	Oleander	5 gal.
Pittosporum tobira ‘Wheeleri’	Dwarf Pittosporum	5 gal.
Podocarpus macrophylla	Yew Podcarpus	5 gal.
Prunus Carolina	Cherry Laurel	5 gal.
Pyracantha crenato-serrata	Dwarf Pyracantha	3-5 gal
Pyracantha fortuneana	Pyracantha	3-5 gal
Raphiolepis indica	Indian Hawthorn	5 gal.
Rhododendron indicum ‘Formosa’	Formosa Azalea	5 gal.
Spiraea prunifolia	Bridal Wreath	3-5 gal
Spirea bumalda or similar dwarf varieties	Spirea	3-5 gal

1 Gal. PLANTS and GROUNDCOVERS		
Ajuga reptans	Carpet Bugle	1 gal
Antigonon leptopus	Coralvine	1 gal
Asparagus densiflorus 'Meyersii'	Foxtail Fern	1 gal
Asparagus sprengeri	Sprengeri Fern	1 gal
Bignonia capreolata	Crossvine	1 gal
Campsis radicans	Trumpet Creeper	1 gal
Carex morrowii	Japanese Sedge	1 gal
Cuphea hyssopifolia	Mexican Heather	1 gal
Dryopteris normalis	Wood Fern	1 gal.
Festuca cinerea	Fescue	1 gal
Gelsimium sempervirens	Carolina Jasmine	1 gal
Hedera helix	English Ivy	flat
Hemerocallis species	Daylily	1 gal.
Lantana camara 'Radiation'	Lantana	1 gal
Liriope muscari	Liriope	1 gal
Lonicera spp.	Honeysuckle	1 gal
Millettia reticulata	Evergreen Wisteria	1 gal
Ophiopogon jaburan	Giant Liriope	1 gal
Ophiopogon japonicum	Monkey Grass	1 quart
Osteopermum fruiticosum	African Daisy	1 gal
Parthenocissus quinquefolia	Virginia Creeper	1 gal
Portulaca grandiflora	Moss Rose	1 gal
Rosa banksiae	Lady Bank's Rose	1 gal
Rosa Meidiland	Meidiland Roses	1-gal
Santolina incana	Lavender	1 gal
Sedum spp.	Sedum	1 gal
Trachelosperum asiaticum	Asian Jasmine	Flat
Trachelosperum jasminoides	Confederate Jasmine	Flat
Veronica latifolia, scrophulariaceae and spicata	Veronica	1 gal
Vinca minor and major	Vinca	1 gal

V. Riverstone Community Compliance Inspection Program

Compliance inspections will be performed every Thursday. Builders who are in violation of the builder guidelines will be faxed and/or emailed a written notice of the violation(s) and will have 24 hours to make the necessary corrections. The property will be re-inspected the following Thursday, and if the violation still exists, Riverstone/Johnson Development will invoice the associated fine(s) to the builder. A 20% administration fee will be added to each invoice issued.

Listed below are specific issues that will be closely monitored:

1. **Sediment Control** – Filter Fabric fencing must be installed at the back of curb. Filter fabric or sand bags must be placed at all inlets. **A fine of up to \$100 per occurrence may be imposed.**
2. **Trash Control** – All blowable trash (including food & containers) should be confined within the jobsite (Lot).
 - A. Wire and fence baskets (for trash).
 - B. Construction fencing
 - Next to empty lot after foundation is poured).
 - Next to finished lot immediately- all sides
 - Immediately along property line that abuts any common area, golf course or waterway.
 - C. Keep street free of debris every day.
 - D. Keep street free of dirt or concrete materials on a weekly basis.**A fine of up to \$100 per occurrence may be imposed.**
3. **Sanitary Facilities** – Clean port-o-let’s within 3 lots. Must be placed on lot, (not in streets) and must be in working order at all times. **A fine of up to \$100 per occurrence may be imposed.**
4. **Alcohol Consumption** – Any evidence of alcohol consumption on the jobsite. **A fine of up to \$500 per occurrence may be imposed.**
5. **Stealing** – The use of water or electricity from neighboring, occupied resident lot. **A fine of up to \$500 per occurrence may be imposed.**
6. **Disturbing the Peace** – Loud music on jobsite (lot). **A fine of up to \$100 per occurrence may be imposed.**
7. **Unauthorized Personnel** – No unauthorized personnel allowed on the jobsite (specifically, no family/friends/children and NO one under the age of 18. **A fine of up to \$500 per occurrence may be imposed.**
8. **Illegal Dumping** – No dumping allowed. **A fine of up to \$500 per occurrence may be imposed.**
9. **Construction Hours** – Working hours (also applies to deliveries, concrete, sand, lumber, dump trucks, etc...)
 - During the week (M-F) construction activity should not begin before 6:30 am
 - On weekends and holidays, construction activity should not begin before 7:30 am.
 - All construction activity should end 30 minutes after sunset, but not later than 8:00 pm Monday – Saturday. On Sunday’s no later than 2:00 pm.
 - Variances may be granted on a day to day basis with written approval from Riverstone/Johnson Development 48 hours prior to the construction activity date.

VI. Architectural Review Process

The official submittal of plans and specifications to the ARC is to provide a review process for conformance to guidelines and standards, adopted by the ARC. The end result is to impart a visual character and a sense of community through controlled architecture, landscaping, and other design elements identified in these guidelines.

All new construction, subsequent construction, remodeling with exterior exposure, expansion, and demolition of structures must be reviewed and approved by the ARC prior to commencement of any on-site building or construction activity. The approval process can be facilitated if complete and high quality submittal documentation is provided to the ARC. The ARC reserves the right to alter the review process in order to ensure an adequate review of all submissions while accommodating the needs of builders.

The site plan, architecture and landscape plan must be approved in writing by the ARC before construction can begin. The ARC is committed to a high level of design quality within our communities by reviewing design and plotting submissions and working with our builders to achieve this goal.

Compliance with these guidelines is paramount, but the ARC will review requests from builders for modifications from these guidelines on a case-by-case basis. See **Variances** this section. Submittals shall be delivered/sent to the attention of the ARC, care of:

Riverstone Development Company
4855 Riverstone Blvd.
Missouri City, TX 77459
Phone: 281-499-8700
Fax: 281-499-8704

The Builder is required to submit complete and accurate design and construction documents to be examined by the ARC. Minimum submittal requirements are as follows (additional information is encouraged):

SUBMITTAL REQUIREMENTS:

A. Site Plan including:

- Individual Submittal form
- Survey indicating existing tree locations
- Distances (with dimension lines) of residence and garage from front and rear property lines
- Building setbacks, easements, and R.O.W. identification (survey)
- Utility service locations
- Siting of improvements
- Overall drainage plan (use arrows to indicate the intended flow of storm water run-off to the street).
- Location of air conditioning unit(s)

B. Architectural Plans including:

- Overall Submittal form
- Fee of \$275 per Plan Set, checks to be made out to the correct entity
- Floor Plans (11" X 17" photocopy format)
- Exterior elevations (11" X 17" photocopy format)
- Outline specifications describing all materials to be used on the project including masonry selection.

Each submittal shall consist of two (2) sets of 11” X 17” photocopies (Xerox) and supplementary specifications and two (2) copies of the site plan. Only complete submittals will be reviewed. The Builder will have complete responsibility for compliance with all governing codes and ordinances.

TIMING

The ARC shall review and approve in writing, each submittal or recommend revisions to those aspects of the plans that are inconsistent with the builder guidelines. The ARC requires a maximum period for review and approval of submitted plans consistent with the deed restrictions; however, if an applicant has not received a response after twenty days, please contact the ARC. More timely responses will require a verbal or written request at the time of submittal.

COMMITTEE STRUCTURE

To ensure integrity of design, quality of proposed development, and the intent of the Urban Design Standards, design professionals shall be agents of the ARC in addition to the “Developer.” The composition of the Committee is identified in the deed restrictions. The Committee reserves the right to make changes to this document when the market requires and to review and approve variance requests.

ONGOING REVIEW

Construction shall proceed only after approval of the final set of drawings and specifications. Changes that occur during actual construction that differ from approved drawings will require alterations at the Builder/Owner's expense to restore compliance with approved drawings. No drawings or changes at the time of construction are considered approved unless they are approved in writing by the ARC. Construction may not commence without written permission by the ARC.

VARIANCES

Reasonable variances may be granted upon written request as long as the variance shall be in conformance with the overall intent of the master plan for the improvement and development of the property as well as the preservation of existing natural and man-made features. Variances may be granted with conditions for approval, which would alleviate the impact that granting the request may have. All applicants must comply with the conditions for approval that may be imposed on a variance. Each builder must address the variance requested in writing and the reason(s) why the request should be granted.

COMMITTEE STRUCTURE

To ensure integrity of design, quality of proposed development, and the intent of the Urban Design Standards, the Covenants, Codes and Restrictions for *Riverstone* identify the composition of the Residential Review Committee.

CITY BUILDING PERMITS

In addition to the submittal requirements for the *Riverstone* ARC, applicants shall also comply with the appropriate municipality requirements if applicable for the Building Permit Review Process.

DISCLAIMER

Neither *Riverstone* or the members of the Residential Review Committee or its representative, their successors or assigns, shall be liable in damages to anyone submitting plans to them for approval, or to any owner or lessee of any parcel affected by these restrictions, by reason of mistake in judgment, negligence or nonfeasance arising out of or in connection with the approval or disapproval or failure to approve any plans submitted. Every person who submits plans to the Committee for approval agrees by submission of such plans, and every owner or lessee of any parcel within the property agrees, by acquiring title thereto or interest therein, that he will not bring any action or suit against *Riverstone* the members of the ARC, or its representatives, to recover any damages.



RIVERSTONE

PRELIMINARY

PLAN SUBMITTAL FORM

4855 Riverstone Blvd., #100
Missouri City, TX 77459
281-403-8771 - Phone
cheriel@johnsondev.com

SUBMITTAL DATE	DATE RECEIVED
-----------------------	----------------------

SECTION NAME	LOT	BLOCK	STREET ADDRESS
---------------------	------------	--------------	-----------------------

PLAN NO.	SQUARE FOOTAGE
-----------------	-----------------------

Request is hereby made for approval of plans and specifications by the Riverstone Development Architectural Control Committee for construction of this residential structure in the subdivision described above. Plans and specifications are submitted in duplicate. It is understood that this approval constitutes conformance with guidelines and standards, and protective covenants and deed restrictions, but does not relieve the applicant from conformance with local codes and ordinances and other design consideration not reviewed by the committee. The committee assumes no responsibility for structural integrity or for mechanical and electrical design with approval of these plans.

BUILDER

BUILDER ADDRESS	TELEPHONE NUMBER
	EMAIL

BUILDER CONTACT

REQUIRED CHANGES AND COMMENTS

COMMITTEE APPROVAL

_____ APPROVED

_____ CONDITIONAL APPROVAL
(see required changes and comments)

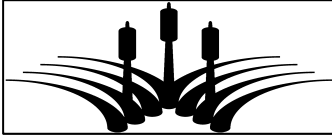
_____ DISAPPROVED
(substantial changes required)

SIGNATURES

_____ Custom Sales Date

_____ Committee Date

CUSTOM HOMES



RIVERSTONE

PLAN SUBMITTAL FORM

Rev. 3/18/10

OVERALL PLAN

4855 Riverstone Blvd., #100
Missouri City, TX 77459
281-403-8771 - Phone

cheriel@johnsondev.com

SUBMITTAL DATE

SECTION NAME

PLAN NO.	ELEVATION	SQUARE FOOTAGE
----------	-----------	----------------

Request is hereby made for approval of plans and specifications by the Riverstone Development Architectural Control Committee for construction of this residential structure in the subdivision described above. Plans and specifications are submitted in duplicate. It is understood that this approval constitutes conformance with guidelines and standards, and protective covenants and deed restrictions, but does not relieve the applicant from conformance with local codes and ordinances and other design consideration not reviewed by the committee. The committee assumes no responsibility for structural integrity or for mechanical and electrical design with approval of these plans.

BUILDER

BUILDER ADDRESS	TELEPHONE NUMBER
	EMAIL

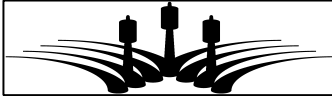
BUILDER CONTACT

REQUIRED CHANGES AND COMMENTS

COMMITTEE APPROVAL
_____ APPROVED
_____ CONDITIONAL APPROVAL (see required changes and comments)
_____ DISAPPROVED (substantial changes required)

SIGNATURE FOR THE COMMITTEE

DATE



RIVERSTONE

Rev. 3/18/10

PLAN SUBMITTAL FORM - RIVERSTONE **INDIVIDUAL HOME**

4855 Riverstone Blvd., #100
Missouri City, TX 77459
281-403-8771 - Phone

cheriel@johnsondev.com

SUBMITTAL DATE

SECTION NAME	LOT	BLOCK
--------------	-----	-------

LOT ADDRESS

PLAN NO.	ELEVATION	COLOR SELECTION
<p>Request is hereby made for approval of plans and specifications by the Riverstone Development Architectural Control Committee for construction of a residential structure on the property described above. Plans and specifications are submitted in duplicate. It is understood that this approval constitutes conformance with guidelines and standards, and protective covenants and deed restrictions, but does not relieve the applicant from conformance with local codes and ordinances and other design consideration not reviewed by the committee. The committee assumes no responsibility for structural integrity or for mechanical and electrical design with approval of these plans.</p>		<p>BRICK _____</p> <p>STONE _____</p> <p>STUCCO _____</p> <p>TRIM _____</p> <p>SIDING _____</p> <p>(NEW ELEVATION ONLY) _____</p>

BUILDER

BUILDER ADDRESS	TELEPHONE NUMBER
	EMAIL

BUILDER CONTACT

BUILDER COMMENTS

REQUIRED CHANGES AND COMMENTS

COMMITTEE APPROVAL

_____ APPROVED

_____ CONDITIONAL APPROVAL
(see required changes and comments)

_____ DISAPPROVED
(substantial changes required)

SIGNATURE FOR THE COMMITTEE

DATE



RIVERSTONE

ARC REQUIREMENTS

50'

Final Inspection

Builder	Contact	Phone			
Address	Lot/Block	Fax			
Requirement		Inspected	Re-Inspect	Re-Inspect	Re-Inspect
Landscape					
Street trees	One 4" caliper Live Oak	_____	_____	_____	_____
Location of street trees	Min 3' from curb	_____	_____	_____	_____
Shrubs	One 30 Gal.	_____	_____	_____	_____
	One 15 Gal.	_____	_____	_____	_____
	Ten 5 Gal.	_____	_____	_____	_____
	Twenty-five 1 Gal.	_____	_____	_____	_____
Corner lot landscape	One 4" caliper Live Oak every 30'	_____	_____	_____	_____
	Three 15 gal trees / 30' of fence	_____	_____	_____	_____
	Ten 5 gal shrubs / 30' of fence	_____	_____	_____	_____
Rear lake or view lot	One 30 Gal Live Oak (where permitted)	_____	_____	_____	_____
	Ten 5 Gal.	_____	_____	_____	_____
	Twenty five-1 Gal.	_____	_____	_____	_____
	Foundation screened with evergreens	_____	_____	_____	_____
Screening	Meters/transformers/pedestals	_____	_____	_____	_____
Fencing					
Standard yard fence	3 Rail good neighbor	_____	_____	_____	_____
Corner lot fence	Upgraded wood, 5' setback	_____	_____	_____	_____
Side by side driveways	Fencing required between detached garages	_____	_____	_____	_____
Public view fence	Good Side Out	_____	_____	_____	_____
Reserve lot wood	6' Upgrade double sided, transition to 5' steel	_____	_____	_____	_____
Lake lot steel	5' tubular steel side connections	_____	_____	_____	_____
Driveways	Two car = 12' min.-17' max	_____	_____	_____	_____
	Three car= 12' min-20' max	_____	_____	_____	_____
Walkway	3' - 4' wide leading to driveway	_____	_____	_____	_____
Sidewalks	5' wide, location Depending on the Right Of Way	_____	_____	_____	_____
Notes	_____				

	Approved	Disapproved
Inspected By	_____	_____
Re-Inspected By	_____	_____
Re-Inspected By	_____	_____
Re-Inspected By	_____	_____
FINAL APPROVAL	_____	_____
	Date	Date
	_____	_____
	Date	Date
	_____	_____
	Date	Date
	_____	_____



RIVERSTONE

ARC REQUIREMENTS

55'

Final Inspection

Builder	Contact	Phone			
Address	Lot/Block	Fax			
Requirement		Inspected	Re-Inspect	Re-Inspect	Re-Inspect
Landscape					
Yard trees	Two 3-4" Live Oaks (11Ht.,7' Sprd.)	_____	_____	_____	_____
Street trees	One 30 Gal. Live Oak	_____	_____	_____	_____
Location of street trees	Min 3' from curb	_____	_____	_____	_____
Large Shrub	One 15 Gal.	_____	_____	_____	_____
Medium Shrubs	Ten 5 Gal.	_____	_____	_____	_____
Border plants	Twenty-five 1 Gal.	_____	_____	_____	_____
End of block side yard	Three 15 gal trees / 30' of fence Ten 5 gal shrubs / 30' of fence	_____	_____	_____	_____
Rear lake or view lot tree:	One 30 Gal Live Oak (where permitted)	_____	_____	_____	_____
Rear lake lot shrubs	10-5 gal, 25-1 gal	_____	_____	_____	_____
Screening	Entire foundation must be screened Meters/transformers/pedestals	_____	_____	_____	_____
Fencing					
Standard yard fence	3 Rail good neighbor	_____	_____	_____	_____
Corner lot fence	Corner upgrade set in 5 feet	_____	_____	_____	_____
Side by side driveways	Fencing required between drives	_____	_____	_____	_____
Side fencing	Add pickets to fill in solid	_____	_____	_____	_____
Lake lot wood	Upgrade double sided capped	_____	_____	_____	_____
Lake lot iron	5' tubular steel side connections	_____	_____	_____	_____
Architecture					
House backing to major	2nd story 100% brick if possible No upstairs balcony of Steepbank	_____	_____	_____	_____
Siding / Stucco	Should be the same color.	_____	_____	_____	_____
Address block	Should have stone address block	_____	_____	_____	_____
Sidewalks	Depending on the Right Of Way	_____	_____	_____	_____
Notes					

	<u>Approved</u>	<u>Disapproved</u>
Inspected By _____	Date _____	_____
Re-Inspected By _____	Date _____	_____
Re-Inspected By _____	Date _____	_____
Re-Inspected By _____	Date _____	_____
FINAL APPROVAL _____	Date _____	_____

Fax to: 281-516-3461

Phone: 713-213-7116

\$25.00 Re-Inspect Fee if necessary
McCauley Architectural Reviews, Inc.



RIVERSTONE

ARC REQUIREMENTS

60'

Final Inspection

Builder	Contact	Phone			
Address	Lot/Block	Fax			
Requirement		Inspected	Re-Inspect	Re-Inspect	Re-Inspect
Landscape					
Street trees	One 4" caliper Live Oak	_____	_____	_____	_____
Location of street trees	Min 3' from curb	_____	_____	_____	_____
Shrubs	One 30 Gal.	_____	_____	_____	_____
	Two 15 Gal.	_____	_____	_____	_____
	Fifteen 5 Gal.	_____	_____	_____	_____
	Thirty 1 Gal.	_____	_____	_____	_____
Corner lot landscape	One 4" caliper Live Oak every 30'	_____	_____	_____	_____
	Three 15 gal trees / 30' of fence	_____	_____	_____	_____
	Ten 5 gal shrubs / 30' of fence	_____	_____	_____	_____
Rear lake or view lot	Two 3" caliper Live Oaks	_____	_____	_____	_____
	Ten 5 Gal.	_____	_____	_____	_____
	Twenty five-1 Gal.	_____	_____	_____	_____
	Foundation screened with evergreens	_____	_____	_____	_____
Screening	Meters/transformers/pedestals	_____	_____	_____	_____
Fencing					
Standard yard fence	3 Rail good neighbor	_____	_____	_____	_____
Corner lot fence	Upgraded wood, 5' setback	_____	_____	_____	_____
Side by side driveways	Fencing required between detached garages	_____	_____	_____	_____
Public view fence	Good Side Out	_____	_____	_____	_____
Reserve lot wood	6' Upgrade double sided, transition to 5' steel	_____	_____	_____	_____
Lake lot steel	5' tubular steel side connections	_____	_____	_____	_____
Driveways	Two car = 12' min.-17' max	_____	_____	_____	_____
	Three car= 12' min-20' max	_____	_____	_____	_____
Walkway	3' - 4' wide leading to driveway	_____	_____	_____	_____
Sidewalks	5' wide, location Depending on the Right Of Way	_____	_____	_____	_____
Notes	_____				

	Approved	Disapproved
Inspected By	_____	_____
	Date	_____
Re-Inspected By	_____	_____
	Date	_____
Re-Inspected By	_____	_____
	Date	_____
Re-Inspected By	_____	_____
	Date	_____
FINAL APPROVAL	_____	_____
	Date	_____

McCauley Architectural Reviews

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Phone: 713-213-7116

\$25.00 Re-Inspect Fee if necessary



RIVERSTONE

ARC REQUIREMENTS

65'

Final Inspection

Builder	Contact	Phone			
Address	Lot/Block	Fax			
Requirement		Inspected	Re-Inspect	Re-Inspect	Re-Inspect
Landscape					
Street trees	Two 4" caliper Live Oaks				
Location of street trees	Min 3' from curb				
Shrubs	One 30 Gal.				
	Two 15 Gal.				
	Fifteen 5 Gal.				
	Thirty 1 Gal.				
Corner lot landscape	Three 15 gal trees / 30' of fence				
	Ten 5 gal shrubs / 30' of fence				
Rear lake or view lot	Two 3" caliper Live Oaks				
	Two 15 Gal.				
	Ten 5 Gal.				
	Twenty five-1 Gal.				
	Foundation screened with evergreens				
Screening	Meters/transformers/pedestals				
Fencing					
Standard yard fence	3 Rail good neighbor				
Corner lot fence	Upgraded wood, 5' setback				
Side by side driveways	Fencing required between detached garages				
Public view fence	Good Side Out				
Reserve lot wood	6' Upgrade double sided, transition to 5' steel				
Lake lot steel	5' tubular steel side connections				
Driveways					
	Two car = 12' min.-17' max				
	Three car= 12' min-20' max				
Walkway					
Landing	3' - 4' wide leading to street				
Sidewalks	4' x 6' landing				
	5' wide, location Depending on the Right Of Way				
Notes					

	Approved	Date	Disapproved
Inspected By	_____	_____	_____
Re-Inspected By	_____	_____	_____
Re-Inspected By	_____	_____	_____
Re-Inspected By	_____	_____	_____
FINAL APPROVAL	_____	_____	_____

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Phone: 713-213-7116

\$25.00 Re-Inspect Fee if necessary



RIVERSTONE

ARC REQUIREMENTS

70'

Final Inspection

Builder	Contact	Phone			
Address	Lot/Block	Fax			
Requirement		Inspected	Re-Inspect	Re-Inspect	Re-Inspect
Landscape					
Street trees	Two 4" caliper Live Oaks				
Location of street trees	Min 3' from curb				
Shrubs	Two 30 Gal.				
	Three 15 Gal.				
	Twenty 5 Gal.				
	Forty 1 Gal.				
Corner lot landscape	One 4" caliper Live Oak every 30'				
	Three 15 gal trees / 30' of fence				
	Ten 5 gal shrubs / 30' of fence				
Rear lake or view lot	Two 3" caliper Live Oaks				
	Two 15 Gal.				
	Ten 5 Gal.				
	Twenty five-1 Gal.				
	Foundation screened with evergreens				
Screening	Meters/transformers/pedestals				
Fencing					
Standard yard fence	3 Rail good neighbor				
Corner lot fence	Upgraded wood, 5' setback				
Side by side driveways	Fencing required between detached garages				
Public view fence	Good Side Out				
Reserve lot wood	6' Upgrade double sided, transition to 5' steel				
Lake lot steel	5' tubular steel side connections				
Driveways					
	Two car = 12' min.-17' max				
	Three car= 12' min-20' max				
Walkway					
Landing	3' - 4' wide leading to street				
	4' x 6' landing				
Sidewalks					
	5' wide, location Depending on the Right Of Way				
Notes					

	Approved	Date	Disapproved
Inspected By			
Re-Inspected By			
Re-Inspected By			
Re-Inspected By			
FINAL APPROVAL			

McCauley Architectural Reviews

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Phone: 713-213-7116

\$25.00 Re-Inspect Fee if necessary



RIVERSTONE

ARC REQUIREMENTS

80'

Final Inspection

Builder	Contact	Phone			
Address	Lot/Block	Fax			
Requirement		Inspected	Re-Inspect	Re-Inspect	Re-Inspect
Landscape					
Street trees	Two 4" caliper Live Oaks				
Location of street trees	Min 3' from curb				
Shrubs	Two 30 Gal.				
	Four 15 Gal.				
	Twenty 5 Gal.				
	Fifty 1 Gal.				
Corner lot landscape	One 4" caliper Live Oak every 30'				
	Three 15 gal trees / 30' of fence				
	Ten 5 gal shrubs / 30' of fence				
Rear lake or view lot	Two 3" caliper Live Oaks				
	Two 15 Gal.				
	Twelve 5 Gal.				
	Thirty-1 Gal.				
	Foundation screened with evergreens				
Screening	Meters/transformers/pedestals				
Fencing					
Standard yard fence	3 Rail good neighbor				
Corner lot fence	Upgraded wood, 5' setback				
Side by side driveways	Fencing required between detached garages				
Public view fence	Good Side Out				
Reserve lot wood	6' Upgrade double sided, transition to 5' steel				
Lake lot steel	5' tubular steel side connections				
Driveways					
	Two car = 12' min.-17' max				
	Three car= 12' min-20' max				
Walkway					
Landing	3' - 4' wide leading to street				
	4' x 6' landing				
Sidewalks					
	5' wide, location Depending on the Right Of Way				
Notes					

	Approved		Disapproved
Inspected By	_____	Date	_____
Re-Inspected By	_____	Date	_____
Re-Inspected By	_____	Date	_____
Re-Inspected By	_____	Date	_____
FINAL APPROVAL	_____	Date	_____

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Phone: 713-213-7116

\$25.00 Re-Inspect Fee if necessary



RIVERSTONE

ARC REQUIREMENTS

85'

Final Inspection

Builder	Contact	Phone			
Address	Lot/Block	Fax			
Requirement		Inspected	Re-Inspect	Re-Inspect	Re-Inspect
Landscape					
Street trees	Two 5" caliper Live Oaks				
Location of street trees	Min 3' from curb				
Shrubs	Three 30 Gal.				
	Four 15 Gal.				
	Twenty 5 Gal.				
	Sixty 1 Gal.				
Corner lot landscape	One 4" caliper Live Oak every 30'				
	Three 15 gal trees / 30' of fence				
	Ten 5 gal shrubs / 30' of fence				
Rear lake or view lot	Two 3" caliper Live Oaks				
	Two 15 Gal.				
	Twelve 5 Gal.				
	Thirty-1 Gal.				
	Foundation screened with evergreens				
Screening	Meters/transformers/pedestals				
Fencing					
Standard yard fence	3 Rail good neighbor				
Corner lot fence	Upgraded wood, 5' setback				
Side by side driveways	Fencing required between detached garages				
Public view fence	Good Side Out				
Reserve lot wood	6' Upgrade double sided, transition to 5' steel				
Lake lot steel	5' tubular steel side connections				
Driveways					
	Two car = 12' min.-17' max				
	Three car= 12' min-20' max				
Walkway					
Landing	3' - 4' wide leading to street				
	4' x 6' landing				
Sidewalks					
	5' wide, location Depending on the Right Of Way				
Notes					

	Approved	Date	Disapproved
Inspected By	_____	_____	_____
Re-Inspected By	_____	_____	_____
Re-Inspected By	_____	_____	_____
Re-Inspected By	_____	_____	_____
FINAL APPROVAL	_____	_____	_____

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Phone: 713-213-7116

\$25.00 Re-Inspect Fee if necessary