

# RIVERSTONE

## Commercial Design Standards for Sugar Land ETJ

April 2018

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The 3,700-acre Riverstone development is poised to be one of the premier master-planned communities in Fort Bend County. Riverstone boasts a comprehensive master plan, with a mix of townhomes, single-family homes and custom homes coupled with resort-quality amenities, excellent schools and a multitude of retail options.

These Commercial Guidelines are supplemental to the Protective Covenants and are to be used in the architectural review of builder, developer or owner plans. Non-compliance with these Guidelines is grounds for disapproval of plans.

A copy of these Commercial Design Standards MUST be provided to every owner or lessee of any parcel or lease space within the property with the understanding that approval is provided by the Riverstone Commercial ARC alone. Commercial Developers do not have the authority to approve signage, lighting, landscaping or any other elements within these Design Standards.

The Guidelines do not insure or imply acceptance or approval by City of Sugar Land. All government agencies having jurisdiction

over the project have precedence over this document if more stringent. City codes and standards shall prevail regarding issues not specifically addressed in the ordinance that may arise during the development of the subject site.

Pursuant to and in accordance with the Declaration, the ARC shall have the exclusive jurisdiction over the design, construction, modification, alteration, addition of all improvements Riverstone with respect to their compliance with the architectural standards set forth in the Declaration, any dedicatory instrument or the Guidelines. The ARC has the right to amend the Guidelines from time to time at its sole discretion as stated in the CCR's.

This document is presented as a minimum set of development design standards for the commercial component of Riverstone. The intended use is to provide a framework to illustrate and define common design objectives for a unified, harmonious setting with the potential for multiple builders, owners and tenants.

Design diversity is encouraged in order to create a specific identity for each project. However, certain standards have been adopted for key design factors to provide continuity and to ensure that the design of the community remains true to the intended style.

Quality building design, site design and compatibility with the overall environment are the primary goals of the Riverstone Commercial Guidelines. Location, size, style, color and types of signs, buildings, walls, sidewalks, vegetation, ornaments, grading, parking, landscape and

other design elements are described in the following text. Description and illustrative examples are utilized to further explain or clarify a guideline requirement or intent and are meant to insure an orderly and well maintained sense of place and community.

Another goal of the Guidelines is the development of a human scale to enhance the pedestrian experience. Human scale details should be prevalent on all buildings and may be achieved through sensitive treatment of building massing, entry design, window and exterior treatments, elements at the building base, and definition of a roof line.

The design of the landscape architecture should further enhance the pedestrian environment, as well as the adequate and strategic placement of walkways and walkway widths. Planting features, paving materials, outdoor furniture such as seating, and lighting fixtures should contribute to the pedestrian experience of the site. This document may be revised as necessary and updated as necessary to meet the changing conditions, market demands, and other factors affecting development of this project.

## Site Planning Criteria

### Setbacks

Setbacks contribute to the character of a site by reserving space for landscaping and establishing space between buildings and streets, habitat areas, other properties, and other buildings that generate an impression of spaciousness. No portion of the building may extend into the street Right-of-Way. The following exhibits are required for landscape and building setbacks from Right-of-Way are required. See Landscape Criteria for all planting requirements. Landscape setback does not include any existing or required utility easements. **Refer to plat for final setbacks. After Riverstone ARC has reviewed and approved submittals, plans must be submitted to City of Sugar Land.**

#### LJ Parkway & University Blvd.

- 40' Minimum Building Setback
- 30' Minimum Landscape and Parking Setback

#### Commercial to Residential/Greenbelt/Civic

- 25' Building Setback
- 15' Landscape and Parking Setback

#### Side and Rear Setbacks

- 10' Minimum Building Setback
- 5' Landscape and Parking Setback

**Note:** No parking, loading, storage, trash receptacles allowed in setback zones

When a commercial property adjoins an adjacent commercial property, each site is required to provide five feet (5') of the landscape setback making the total ten feet (10'). The first to build is required to install a double hedgerow of shrubs, trees and groundcover. The second to build shall provide groundcover. See Landscape Criteria for further details and planting requirements.

Where Commercial adjoins the overall Riverstone Community Association, the goal is to incorporate commercial areas seamlessly as possible as designated per parcel. Users may be responsible for construction and improvement of their planting along thoroughfares if such planting is not present at time of construction.

Riverstone will be responsible for the installation and maintenance of the landscape in the landscape setback areas along University Boulevard and LJ Parkway. If during the construction of a commercial tract such landscaping is disturbed then the site developer will be responsible to repair and replace such damage at the same quantity and quality as existed before disturbance using designated HOA contractor. Such repair and replacement must be approved by Riverstone and the ARC before final inspection.

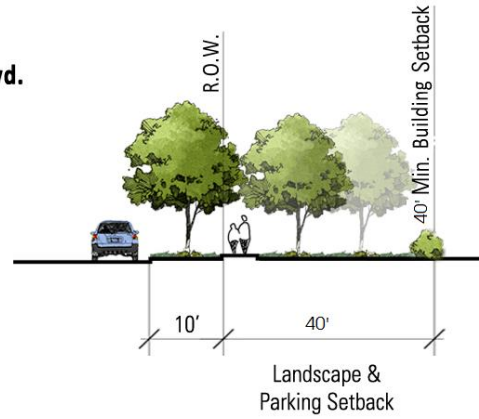
Refer to drawings on the following page for further clarification. All landscape design plans must be submitted and approved by the ARC before installation.

### Landscape Setbacks along Major Thoroughfares

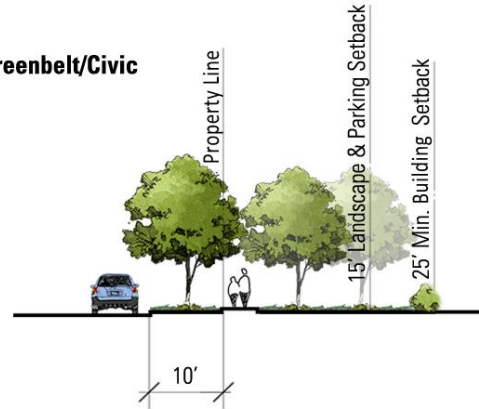
Should there be the circumstances where the Landscape Easement is involved in any construction; the Riverstone ARC may require a deposit for protection of the existing landscape and irrigation. The commercial user is responsible for coordinating with the HOA's maintenance company for pre-modification and post-modification to landscaping and irrigation systems. Any and all damage to trees, shrubs, turf, sidewalks, monuments, columns, and/or irrigation must be repaired and replaced to exact condition returned upon successful completion of the project and ARC Final Inspection.

Irrigation systems, at the site developer's expense, will be redesigned, re-routed, or repaired as necessary to return it to fully operational condition. Interim irrigation may be required during the construction process and will be at the site developer's expense.

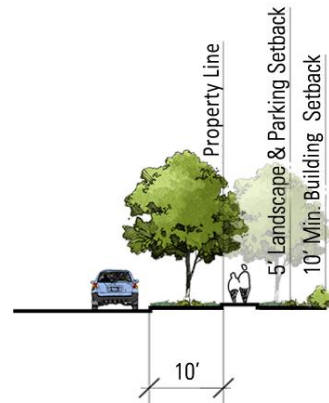
**L J Parkway & University Blvd.**



**Commercial to Residential/Greenbelt/Civic**



**Side and Rear Setbacks**





## Parking

The purpose of parking lot standards and required landscape is to prevent the parking lot from being the dominant feature of the project. All parking areas must be concrete meeting local standards, no asphalt parking areas are allowed in Riverstone.

Consult the City of Sugar Land for any additional parking requirements, standards and ratios. Avoid vehicle/pedestrian conflicts in keeping with the concept of the pedestrian friendly Guidelines.

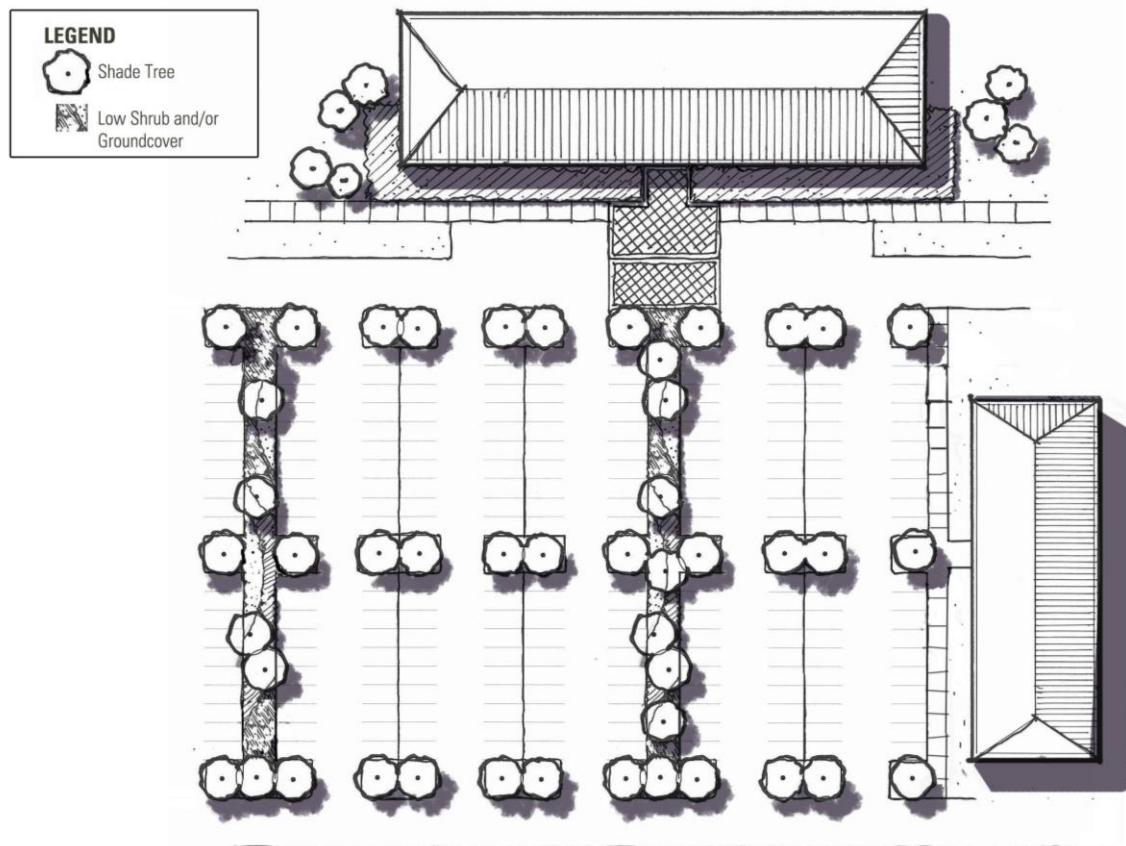
Ninety (90) degree parking is encouraged. Stall size to be a minimum of nine by eighteen feet (9'x18'). Parallel parking is allowed with a minimum stall size of eight by twenty-two feet (8'x22'). Aisle widths must be a minimum of twenty-four feet (24'). **All parking lot striping must be white.**

No parking may be located within the required landscape setback. Parking areas for pad sites must be connected to parking areas of adjacent Parcels and structures with a connecting driveway. For pad sites located adjacent to a major thoroughfare, one bay of parking is permitted, no parking between the building and the street is preferred. Parking is suggested be located at sides and rear of site. If a pad building is located at a driveway entrance to a larger parcel, only one bay of parking is permitted between the building and the driveway, less or none is preferred.

A continuous double hedge row of shrubs along the parking lot adjacent to the street is required. The shrubs are to be a minimum of five (5) gallon size of thirty-six (36") in height, planted thirty-six (36") on center and maintained at a uniform height of forty-two inches (42").

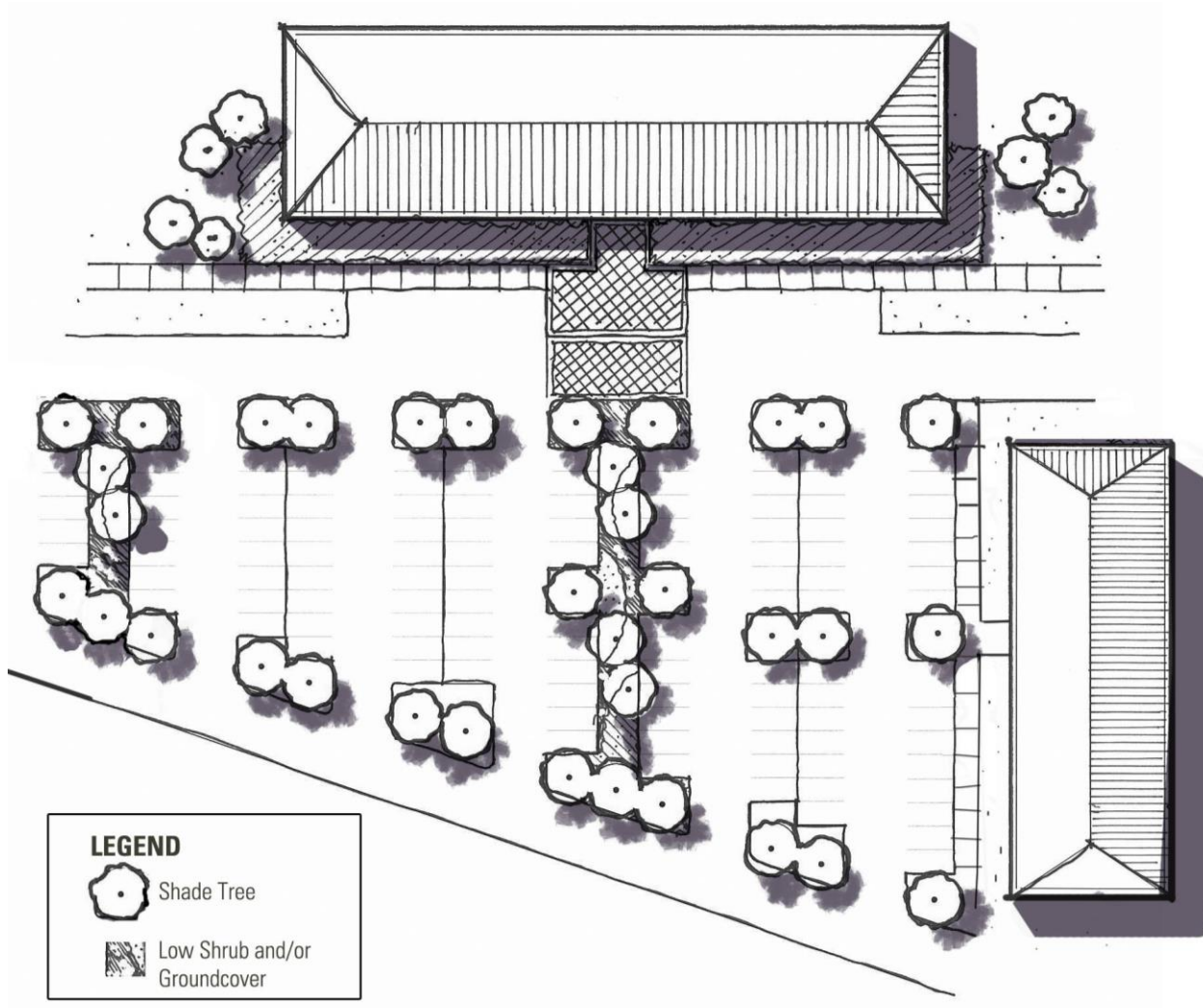
See Landscape Criteria for further parking lot landscaping requirements. A minimum eighteen by thirty-six feet (18'x36') landscape island for trees with a three foot (3') radius at each corner along the driving isle is to be provided in parking areas at a maximum separation of ninety feet (90') or ten (10) parking spaces. Each bay of parking must be separated from the end aisles by a landscape island consisting of the required parking lot island landscaping. Two (2) three inch (3") caliper canopy trees plus low shrub and groundcover shall be provided in each island.

Regular Parking Lot Landscape Planting Exhibit



One fifteen-foot (15') wide minimum planting median is required for every three (3) bays of parking as a means to interrupt large expanses of paving. Refer to drawings on Regular and Irregular Parking Lot Landscape Planting Exhibits for further clarification.

Irregular Shaped Parking Lot Landscape  
Planting Exhibit





## Lighting

The Guidelines provide recommendations for a coordinated family of site furnishings and materials for use in Riverstone. Parking lot lighting must be designed in an attempt to maximize pedestrian and vehicular safety and in accord with Illuminating Engineering Society of North America (IESNA) recommended standards. Additionally, parking lighting should be shielded with sharp cut-off in order to promote “dark sky” concepts and limit intrusion into adjacent properties and on a house meter. **Photometric calculations and drawing documentation are required for each project assuring minimal light trespass into or onto adjacent properties and the sky-dome.** All lighting shall conform to those regulations set forth by the City of Sugar Land. **All light fixtures must be submitted with cut sheets for ARC approval.**

### Parking Lot Lighting

There are two options for the parking lot light fixtures, L1 is a standalone fixture to be located when fixture is not located in island and L2 is a fixture on a 4' pedestal base with project stone to be located in a parking lot island. Light fixture spacing shall be an average of 140 feet on center, from pole to pole. Additional consideration shall be made where trees or other obstacles may block lighting. There are two additional options: Houseside Shields, and electrical receptacles on the poles.

Subject to ARC approval, a fifteen foot (15') light pole may be allowed on a case-by-case basis.

**L1** - 22" width base, 22' tall pole, with 100w LED Post top fixture. (Stand alone fixture without stone base) 4000K color temperature, Black finish, with full cover, decorative ribs & band, base of fixture has leaf pattern.

L1 Part number: **Holophane GVD-100-4K-AS-T-B-5-R-S-B-FCVRB + FWS22FTB22P07ABGBK-SH1124**

Options:

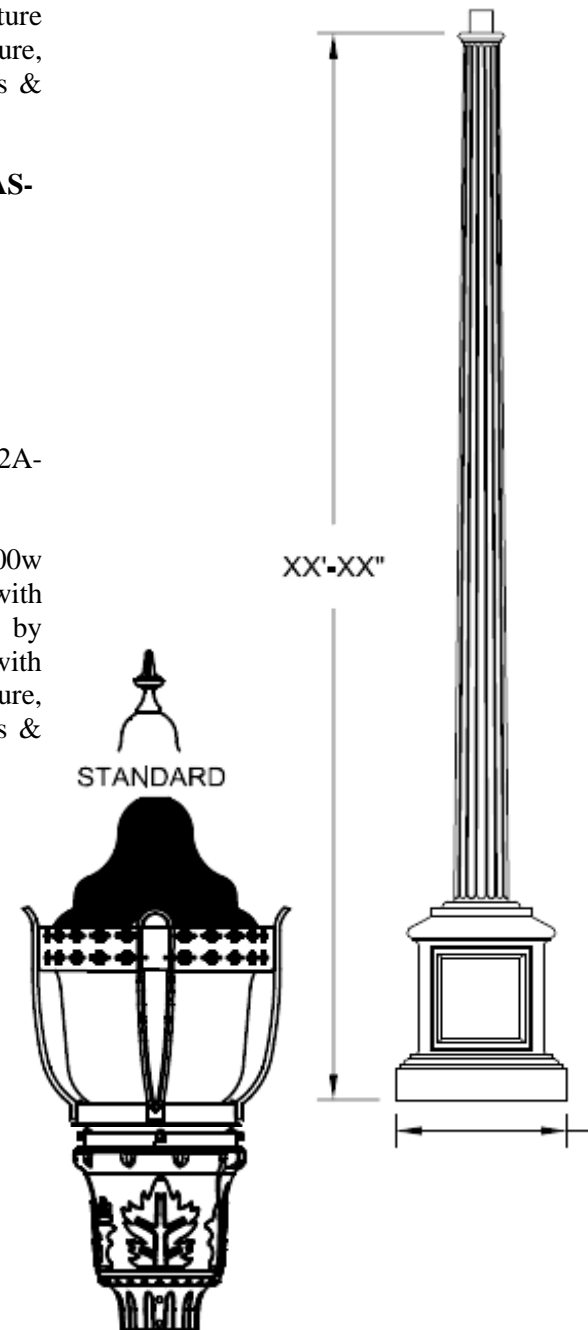
- Houseside Shields:  
SOLID 90 DEGREE= GVDHSS90;  
SOLID 120 DEGREE= GVDHSS12;  
SOLID 180 DEGREE= GVDHSS18.
- Optional Receptacle Provision: R32A-FGSBK (Electric Outlet Option)

**L2** - 18" width base, 17' tall pole, with 100w LED Post top fixture. (4' Pedestal base with project stone. Stone veneer manufactured by Culture Stone, Suede Drystack Limestone with tight fitted joint mfg.) 4000K color temperature, Black finish, with full cover, decorative ribs & band, base of fixture has leaf pattern.

L2 Part number: **Holophane GVD-100-4K-AS-T-B-5-R-S-B-FCVRB + FWS17FTB18P07ABGBK-SH1124**

Options:

- Houseside Shields:  
SOLID 90 DEGREE= GVDHSS90;  
SOLID 120 DEGREE= GVDHSS12;  
SOLID 180 DEGREE= GVDHSS18.
- Optional Receptacle Provision: R28A-FGSBK (Electric Outlet)



**Building Lighting**

All columns and walls visible to the public ROW or open space and not contained under an arcade must have either wall bracket or accent up lighting. Accent fixtures providing indirect illumination, including wall bracket or wall-mounted down lighting shall be in character with Architectural and Landscape design criteria. Incandescent/halogen will not be allowed for exterior lighting. Exposed light sources are prohibited around buildings.

**Wall Bracket Specifications:** Forty-two (42) watt CFL lamp, black finish, with decorative band & black finial. HOLOPHANE MGV-42CFL-MT-L-B-5-4-B/AWBCABKH-SH1124 (OPTIONAL LIGHT TRESPASS SHEILD=MGVSHS)

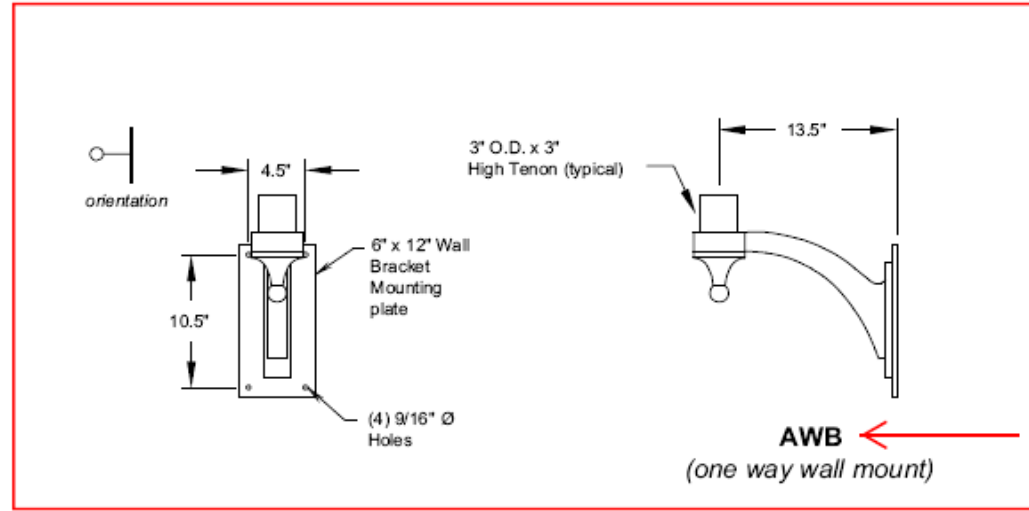
**Service Area Lighting**

All service area lighting shall include directional shields and must be submitted for ARC review. Light from these fixtures should not overflow from the service areas into adjoining parcels or adjacent parking or landscape areas. No floodlights shall be permitted on any buildings except for shielded wall packs (sharp cutoff luminaries) at the rear of buildings provided they to do not face adjacent residential uses or public rights-of-way.

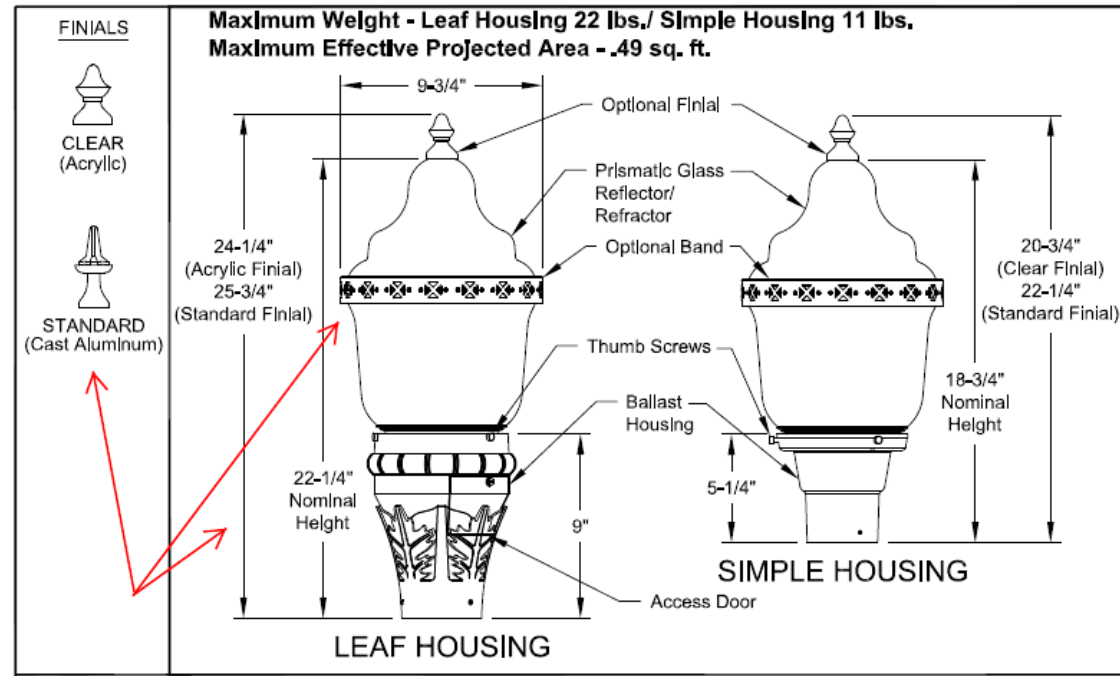
Uplighting of street trees, parking lot trees and important landscape areas are encouraged.

**LED Wall Pack:** Lithonia CSXW LED-1-30B530/40K-SR2-MVOLT-DBLBXD-SH1124

**ANNAPOLIS Series**  
Crossarms & Wall Bracket



**MGV-42CFL-MT-L-B-5-4-B/AWB-CA/BK**



## Site Furnishings

The Guidelines provide recommendations for a coordinated family of site furnishings and materials for use in Riverstone. Accessories such as benches, trash receptacles, bike racks, and newsstands add character to the pedestrian environment. The Guidelines address both functional and aesthetic concerns and are intended to provide guidance regarding treatments that are considered appropriate and acceptable. **Final approval is subject to the ARC.**

Site furnishings shall be organized so that they are clear of pedestrian movement yet easily accessible.

### Benches and Trash Receptacles

All benches and receptacles shall be easy accessible for pedestrians and trash collection. Site furnishing shall be firmly attached to paving to avoid vandalism.

### Bike Racks

Bike racks shall be located near building entrances or street lamps.

### Flagpoles

Flagpoles shall be black, not exceed twenty-five feet (25)' in height. Exterior flags are restricted to the United States and Texas Flags. Company advertising flags are not permitted. The flag shall be well maintained and displayed only between sunrise and sunset.

### Handicap Ramps

Ramps must be stained. Stain must be Cola by Kemico



Dumor Steel Bench 194 – Black



Dumor Steel Trash Receptacle 149 – Black



Dumor Steel Bike Rack 125/130 – Black

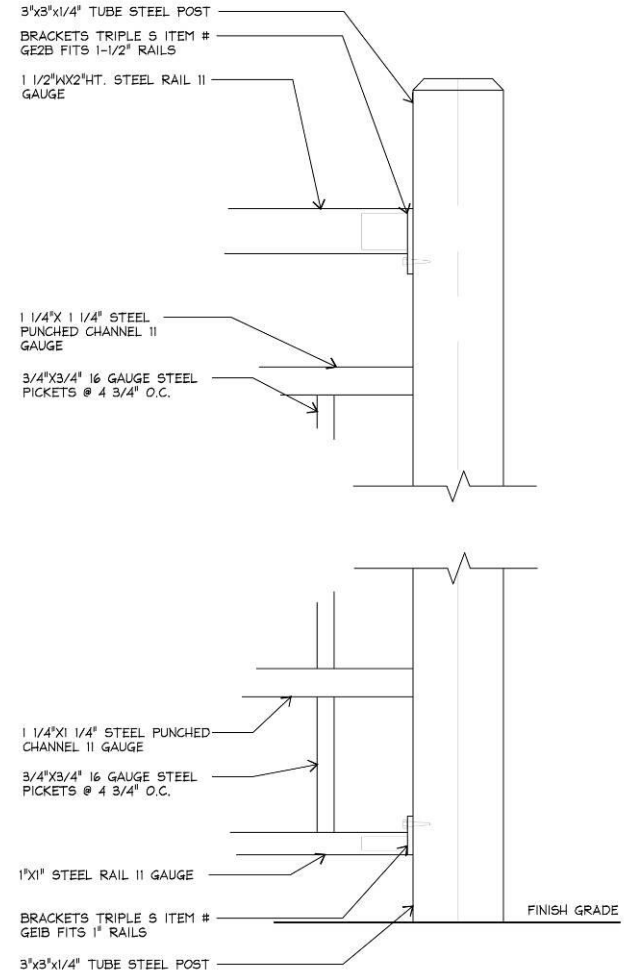
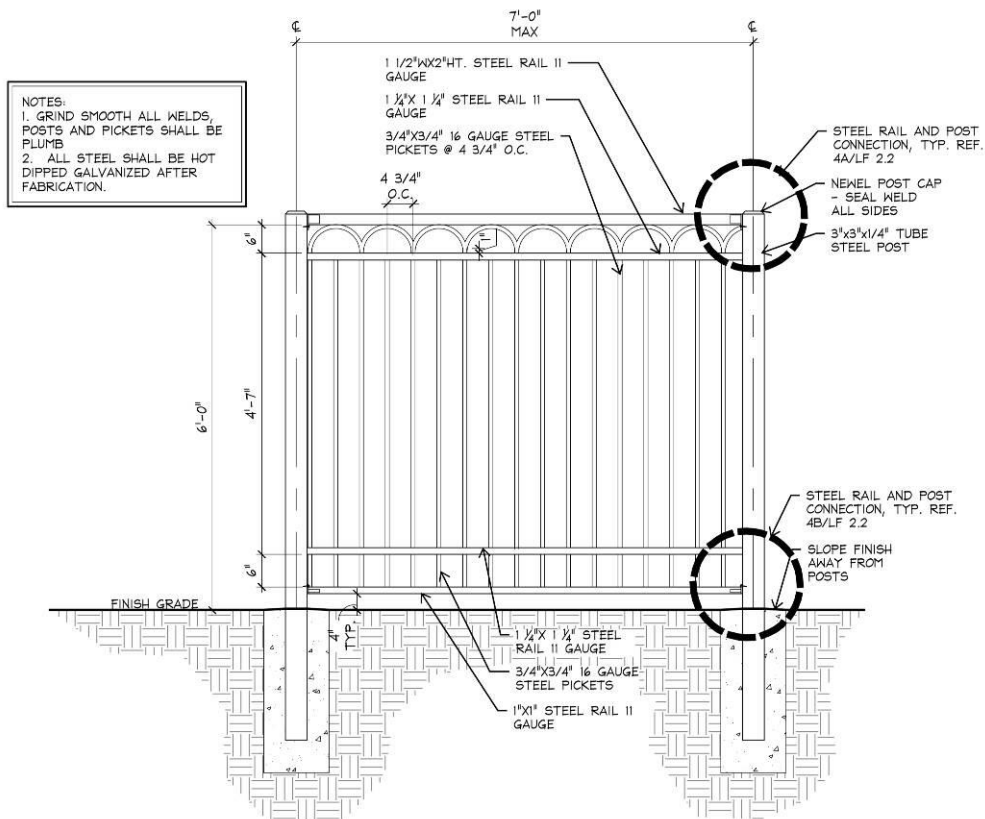
## Commercial Walls and Fences

Walls are a very visible element of the community architecture. Consistency in the design of walls is essential in establishing continuity in the streetscape. Walls can provide decorative appeal, privacy, security, buffering and screening of unsightly uses. A masonry or tubular steel fence may be required along abutting property lines; these walls shall meet the minimum construction standards be located as required by the ARC.

When a commercial use adjoins residential, the masonry fence specified in the criteria is required. This fence shall be located as required by the ARC.

When certain uses require security fencing such as Day Care Centers or decorative fencing for outdoor dining areas, tubular steel fencing is required.

All fencing must be approved by the ARC before installation.



### STEEL FENCE

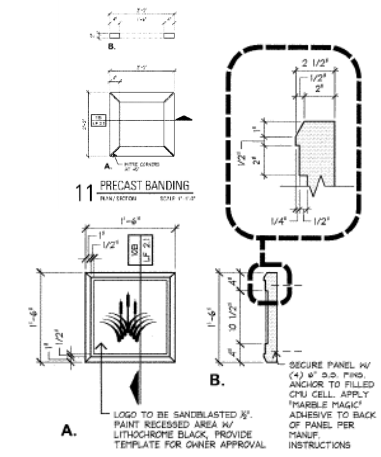
ELEVATION

SCALE: 3/4"=1'-0"

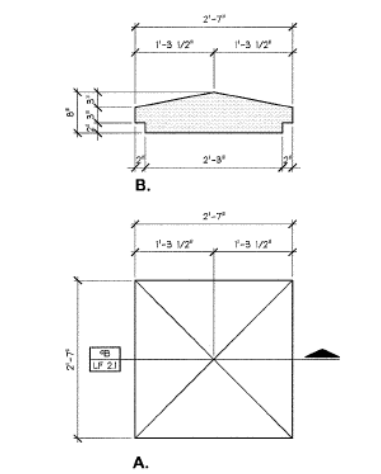
### STEEL CONNECTIONS

SECTION

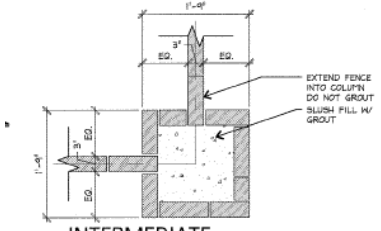
NOT TO SCALE



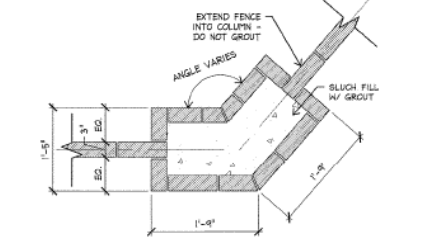
**10 PRECAST LOGO**  
ELEVATION/SECTION SCALE: 1"=1'-0"



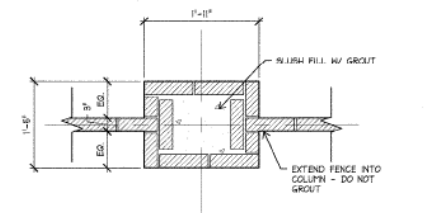
**9 PRECAST CAP**  
PLAN/SECTION SCALE: 1"=1'-0"



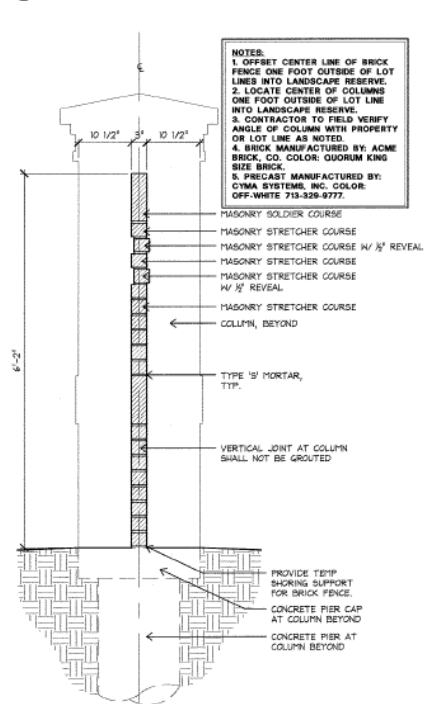
**8 INTERMEDIATE CORNER COLUMN**  
PLAN SCALE: 1"=1'-0"



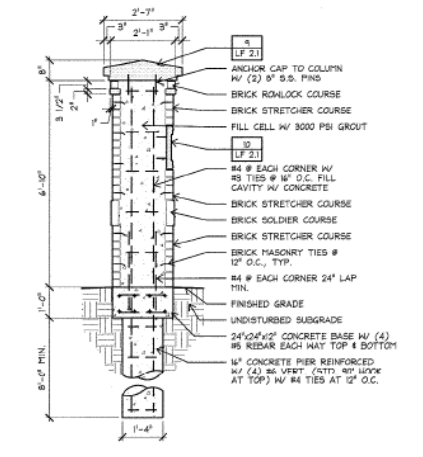
**7 INTERMEDIATE CORNER COLUMN**  
PLAN SCALE: 1"=1'-0"



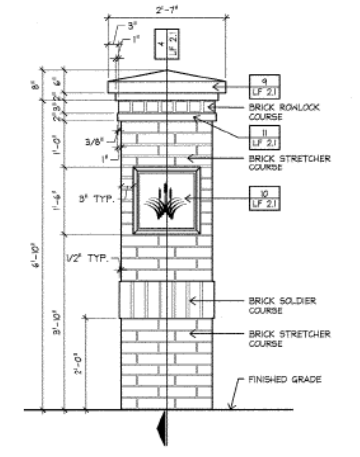
**6 INTERMEDIATE CORNER COLUMN**  
SECTION SCALE: 1"=1'-0"



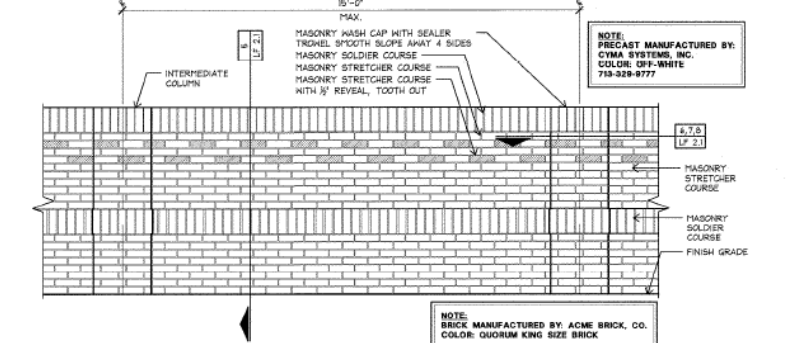
**5 BRICK THINWALL**  
SECTION SCALE: 1/2"=1'-0"



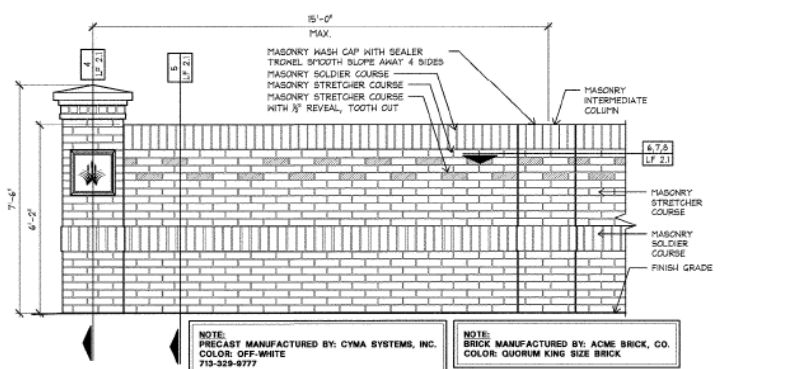
**4 BRICK COLUMN**  
SECTION SCALE: 1/2"=1'-0"



**3 BRICK COLUMN**  
ELEVATION SCALE: 3/4"=1'-0"



**2 6' BRICK THINWALL**  
ELEVATION SCALE: 1/2"=1'-0"



**1 6' BRICK THINWALL**  
ELEVATION SCALE: 1/2"=1'-0"

## Grading

### Storm Water Run-Off

All parking areas must be completely curbed, paved and graded to drain into the internally piped system. Direct outfall of drainage systems into lakes or detention ponds is not permitted. Some surface runoff is permitted. Grading, drainage, sediment and erosion control plans are to be prepared by a registered professional engineer and approved prior to commencement of any site work.

Finished floor elevations shall be above the top of highest curb elevation of any adjacent street frontage. All roof drainage shall be connected through downspouts into underground storm sewer system. Downspouts shall be painted to compliment adjacent wall.



## Commercial Service Areas

### Views

Direct access and views into service areas (rear service drives and service yards) from public rights-of-way are specifically prohibited. For screening service areas from the street or water, a buffer wall or dense landscaping is required. Service areas must be located towards the rear of all Commercial and other non-residential development. No service areas may face a major thoroughfare.



### Service Drives

When a service drive is located near residential use, the service drive must be located a minimum distance of ten feet (10') from adjoining property line. This area must be maintained as permanent green space and may not be used for parking, storage, trash, or structures. The area must be landscaped with a staggered row of canopy trees three inch (3") caliper spaced every thirty linear feet (30LF).

Refer to City of Sugar Land for Standards for further service drive standards.

## Trash Collection and Dumpsters

All trash collection areas are to be located in inconspicuous, yet easily accessible areas away from public Right-of-Way frontage, including any adjacent lake. They are to be **completely enclosed** horizontally and vertically, with a minimum eight foot (8') high masonry walls for dumpster and may be required to increase in height so that dumpsters or compactors may not extend over the height of any enclosure. Materials and finish are to match the adjacent building. For free standing buildings (pad sites), the trash receptacle areas must be an extension of the building design. The collection area must be accessed through steel gates painted in opaque colors to match the walls. Doors must be kept closed at all times. ADA Regulations may be required for rear access. If within public view, dense landscape with Ligustrum shrubs along the perimeters is required to soften the presence of receptacles.

Where accessibility is an issue for a trash enclosure, screen any openings to assure no visual access into the enclosure. Chain link fences with metal slats, wood fences and wood gates are prohibited.

In order to reduce the number of dumpster enclosures, integrated developments are encouraged to share such facilities where possible.

Corrugated Steel gates shall meet the following specifications:

- Steel posts – Posts shall be set in concrete in a posthole of sufficient diameter and depth so as to support the cantilevered gate.
- Hinges – Hinges shall be heavy duty, barrel type with machined bearing

surfaces or brass inserts and grease fittings. Hinges should be welded to the posts and gates.

- Gate frames – Gate frames shall be constructed square tubing, fabricated and welded squarely to accept steel sheeting. Gate frames shall be equipped with a hasp and drop rod for securing the gates in the closed position, in addition to the welded hinges.
- Protective coating - Gate posts, frames and skins shall be primed and painted with acceptable industrial coatings to industrial standard mil thickness.
- Finish Coatings shall match the color of the primary building trim.



## Architectural Criteria

### Character

These Guidelines and standards are meant to foster a sense of design continuity that creates a sense of place in the master planned mixed-use land development. The following Architectural Criteria is intended to make the building designer aware of the architectural context, not to inhibit or limit unique design.

Designs are encouraged to respond to the environmental context, to maintain a homogenous vocabulary of building characteristics in terms of style, material, color, and form while maintaining a sense of individual identity. Building orientations should also be responsive to the nature and characteristics of adjacent surrounding buildings within Riverstone, streets, views, nature areas, and all other pertinent environmental conditions.

To promote a quality pedestrian environment, amenities such as storefront windows, towers, cupolas, decorative façade, balconies, awnings, exterior railings, detailed eaves and lighting along streets and outdoor space shall be provided.

**Materials shall consist of brick, stucco and stone with brick accents.** Use of subtle/rich colors from “warm” palettes with some cooler colors permitted as accents or trim.

### Architectural Elements

The photos provide examples for massing, scale and proportion, and building materials in understanding the particular style. The following photos reflect the architectural context to be expressed in Riverstone. Not one single image captures the exact look.









Architectural Criteria

Riverstone Commercial Guidelines

## Building Design

### Building Scale & Proportion

- Minimum height at the glass line is ten feet (10')
- Height at the pedestrian arcade/canopy is fifteen feet (15') maximum.
- Width at the pedestrian arcade/canopy is an ten foot (10') minimum
- Storefronts are based on a four foot (4') horizontal grid with a minimum span of twelve feet (12') and a maximum span between arcade columns of thirty-two feet (32').

All storefronts must have a continuous arcade or canopy.

Main buildings must incorporate a minimum four foot (4'), with eight feet (8') preferred, jog or setback from the front building wall for every one hundred forty linear feet (140 LF) of façade in order to provide relief from monotony of an expansive length of building façade. A minimum of thirty-two linear feet (32 LF) is required for each setback area. Shirt fronting is prohibited. The building material must wrap minimum two to four feet (2'-4') around the corner of the building. Building foundations must be screened.

Blank walls (walls with no windows or articulation) exposed to a street or common areas require surface articulation and landscaping. See Landscape Criteria for the required Building Perimeter Landscape Requirements. Irrigation to trees and landscaping must be provided.

### Building Entrances

Building entries and doors should be evident, inviting and designed to be an integral part of the architecture.

#### Building entrance design *must* include:

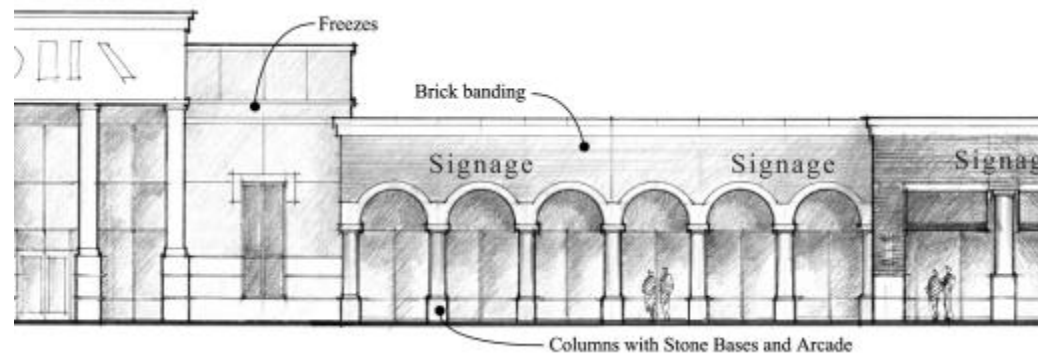
- Clear sequence of entry spaces
- Shaded, recessed door location
- Integration with overall building forms, colors and materials
- Light, warm, open image

#### Building entrance design *may not* include:

- Abrupt or dark entry space
- Tacked-on entry alcove
- Exaggerated and highly contrasting forms and colors

### End Wall Treatments

End wall conditions are encouraged to continue glass façade, graphic identification and architectural detailing when within public view. The main structure shall be punctuated at the ends with an articulated architectural element. All sides of a tower or end treatment shall be constructed with same materials and color.



### Exterior Soffits

Soffits must be finished with appropriate building material. Metal panel, plaster and concrete soffits are encouraged. Acoustical tile, plywood, wood planking, and exterior grade sheetrock are prohibited. Soffit lighting is encouraged as an architectural accent. Cut sheets must be submitted for the ARC to approve all lighting fixtures, see Lighting Criteria.

### Columns, Plinths and Cornices

A minimum two foot (2') plinth height (thirty-four inches (34") preferred) is required at the base of all buildings utilizing stone or stucco with stone trims in the color palette. Cornices are to consist of EIFS, trimmed stone, and pre-cast concrete or pre-fabricated cast stone and to compliment project material palette.

### Windows and Doors

The design of windows should be compatible in a complementary way with the expression of the building scale. Aluminum frames must be black.

#### Window design *must* include:

- Recessing of glazing within the window opening to create a shadow line and the appearance of a thick wall;
- Delineation of window openings within the wall surface or between structural components;
- Balance of wall and window opening proportions;
- Variation of window opening sizes, but coordination of window head heights with floor levels;
- Expression of window sills and lintels;
- Framing that is compatible with adjacent walls.

#### Window design may *not* include:

- Clear anodized frames;
- Glazing flush with wall surfaces;
- Large expanses of glass crossing multiple floor levels;
- Ribbon glazing with no expression of vertical structure;
- Glazed curtain wall systems and glass box forms;
- Unconventional window opening shapes;
- False and highly decorative accent mullions;
- Black, gold and copper glazing colors;
- Patterns formed by glass colors;
- Highly reflective or mirrored glazing;
- Ferrous metal frames (painted or “Cor-Ten”).

Lengthy window facades must be punctuated with masonry columns. These facades with required storefront definition at all retail storefronts are encouraged to provide overall continuity and eliminate the indiscriminate use of a variety of materials.



### **Rain Gutter Drainage**

Gutters and downspouts should be integrated with architectural design in color to compliment the building, shape, and location. All roof drainage shall be connected through downspouts into underground storm sewer system.

### **Roofs**

Commercial/retail roofs may be low slope with parapet walls, except on pad sites, major tenant entries or corner/end elements where pitched roofs are allowed and encouraged. Combining different roof heights for tenants, gives the opportunity to reduce scale and add interest through a variety of roof and wall heights. It also allows mechanical equipment to be hidden behind the parapets concealing low slope roofs.

Roofs can be used to mark important building features, while a material change on the parapet will help to “frame” the building. Low slope roofs must be completely hidden behind building parapets. Variety can be given to low slope roof buildings by adding pitched roofs as entry canopies, porches and roofs over extended ground floor areas.

All visible pitched roofs must have a minimum pitch of 6:12 and be composed of concrete tile. Standing seam metal may be used as an accent roof material.

### **Mechanical & Rooftop Equipment**

Exposed meters, transformers, or exterior condensers of any type are prohibited. All HVAC and utility equipment / apparatus shall be fully concealed architecturally with a wall, fence, or structure with approved dense landscaping. All wall mounted equipment must be painted to match the adjacent wall. The locations of meters, transformers, telephone equipment, condensers, and similar equipment or appurtenances must be submitted for approval to the ARC. Concealment is required to be in compliance with the standards of the utility affected.

Mechanical equipment, communication dishes, and antennae located on rooftops must not be visible from public view, drainage easements or public rights-of-way. Where flat rooftops have been allowed, parapets must be tall enough to screen all rooftop equipment from public view. Placing rooftop equipment within a roof structure will be reviewed by the ARC. Roof mounted equipment must also be the same color as the roof.

### **Building Lighting**

Where soffits are designed, recessed lighting is required. Where there is no soffit, either sconce or accent up lighting is required. Exposed bulbs are not permitted. Fixtures must compliment the architectural theme.

## Approved Materials

ROOF - Boral "Wolf Grey" Country Slate

STONE - RockMaterials.com

- Leuders Chopped
- Black and Tan Squares and Rectangles
- Milsap Chopped

## BRICK

- Brazos Bend – Acme
- Weiss Prairie – Acme
- Cimarron – Commercial Brick Corporation

PAINT – Main Color - PPG

- Happy Trails
- Rain Barrell
- Sand Fossil
- Saute Mushroom
- Dusty Trail
- Heavy Cream
- Pony Tail
- Saddle Soap
- Fossil Stone
- Spiced Vinegar

ACCENT PAINT – per ARC Approval

## ALUMINUM FRAMES

- CCBP Columbia Commercial Building Products - Black  
1200 E. Washington  
Rockwall, TX 75087  
800-668-1645



Cimarron – CBC



Weiss Prairie – Acme



Brazos Bend – Acme



## Prohibited Materials

Exterior materials *prohibited* because of maintenance and/or appearance characteristics are:

- Cementitious based siding and trim products are specifically prohibited
- Wood siding, shingle siding, or wood shingle roofing of any type
- Painted brick or stone
- Corrugated metal
- Mirror, bronze, and reflective glass is prohibited
- Burglar security bars of any kind will not be permitted on the exterior. If security measures are required other approaches such as motion / vibration, or sound detection systems are recommended
- Rolling grilles or doors whether overhead or side coil are not permitted, (except at the rear of Industrial buildings)
- Direct visual exposure of incandescent bulbs, fluorescent lamps, or neon tubes is prohibited.

## Eating Establishments and Coffee Shops

The provision of outdoor dining and seating areas in front of, to the side of each business or adjacent to a common area, plaza or water feature is preferred. Fencing demarking such areas must be complimentary to the building architecture, finishes and height and may consist of decorative metal, or combination fence elements. A four foot (4') or six foot (6') height will be allowed, ARC approval is required, see page 12 for metal fencing standards.



## Service Stations / Convenience Stores

Weather canopies over gas pumps must not be lower than the height of the eave line or soffit of the main building. Canopies will likewise be earth-tone based in appearance avoiding white or primary colors. The columns must be constructed of project materials such as a stone base. Service stations and convenience stores must be designed as an integral component of the overall Commercial center development. No bays of a service station shall be located in view of public.



## Accessory and Storage Buildings

All accessory buildings, including parking garages, carports, porte-cocheres or service station canopies, storage facilities, car washes, control rooms, and the like must be designed as an integral component of the overall site development and architecture. Building material colors, roofline, general form and character should match or be compatible with primary building or buildings on the site. Temporary wood and metal type buildings are specifically prohibited.

Outdoor storage is strictly prohibited except for landscape and garden sections of retail uses. Landscape and garden sections must be enclosed by a structure of a height at least equal to that of the materials or equipment being stored.

# Multi-Family Criteria

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This page is a placeholder for future criteria.



# Office Criteria

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This page is a placeholder for future criteria.

## Landscape Criteria

The intent of this section of the Guidelines is to provide a framework for improvement to the developed property through landscape planting and landscape appurtenances.

A naturalistic approach to landscaping is planned to extend throughout Riverstone. All landscape design plans must be submitted and approved by the ARC before installation.

### Right-of-Way and Setback Planting

The streetscape of major public road rights-of-way shall be consistent with the current Riverstone landscape character. Planting along street frontages and property lines shall follow, as a starting point, the City of Sugar Land Chapter three (3) Landscape Regulations. In addition all shade trees must be three inch (3") caliper minimum and all shrubs must be a five (5) gallon container minimum. All plant species must fit within the landscape character of Riverstone. Reference the recommended plant list within this section.

The landscape and irrigation along major roadways will be installed and maintained by Riverstone HOA within the thirty foot (30') landscape setback. Any landscape adjacent shall be coordinated effort with TBG Partners, Inc.

Reference the planting buffer exhibit illustrating the general guidelines required. All turf grass to be common Bermuda and all mulch to be natural hardwood. Reference the planting details in this section for shade tree, ornamental tree, and shrub planting.

All landscape areas are required to be irrigated with an automatic, underground head to head irrigation system. Irrigation systems shall be designed so as not to spray water onto adjacent roadways or to permit excessive run off from landscape areas onto pavement.



## Access Driveways

Extensive landscaping is required at all entries into a Commercial parcel. For all entrances, each access driveway median must incorporate annuals or perennial color, low evergreen shrubs, groundcover or ornamental grasses. Shrubs and groundcovers with annual or perennial color should also be used to highlight key areas, such as at the base of entry Monument Signs.

## Parking Lot Landscaping

To maintain the image of the Riverstone development and to subdivide and shade large paving areas, a minimum eighteen by thirty-six feet (18'x36') landscape island must be provided in parking areas at a maximum separation of ten (10) parking spaces. Two (2) three inch (3") caliper canopy trees plus low shrub and groundcover shall be provided in each island. Each bay of parking must be separated from the end aisles by a landscape island consisting of the required parking lot island landscaping. Large expanses of pavement are prohibited.

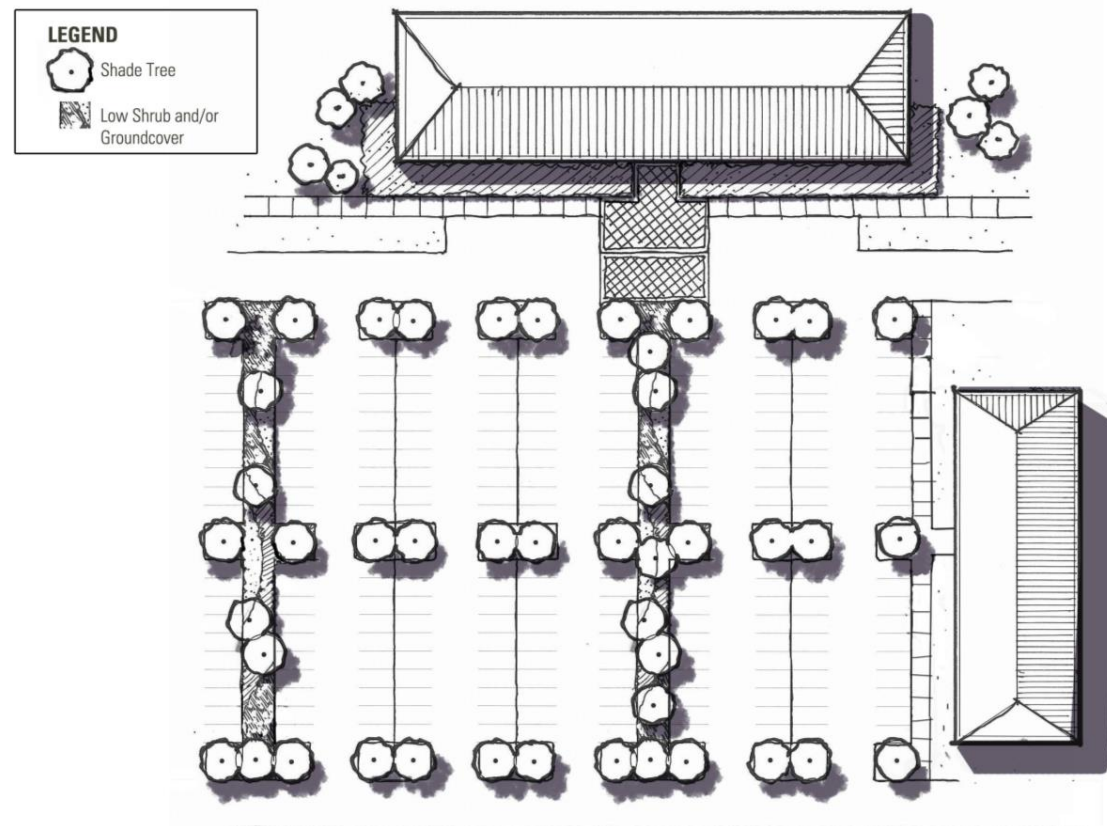
A continuous double hedge row of shrubs along the parking lot adjacent to the street is required. The shrubs are to be a minimum of five (5) gallon size of thirty-six (36") in height, planted thirty-six (36") on center and maintained at a uniform height of forty-two inches (42"). All landscape design plans must be submitted and approved by the ARC before installation.

When a commercial property adjoins an adjacent commercial property, each site is required to provide five feet (5') of the landscape setback making the total ten feet (10'). The first to build is required to install a double hedgerow of shrubs, trees and groundcover. The second to build shall provide groundcover.

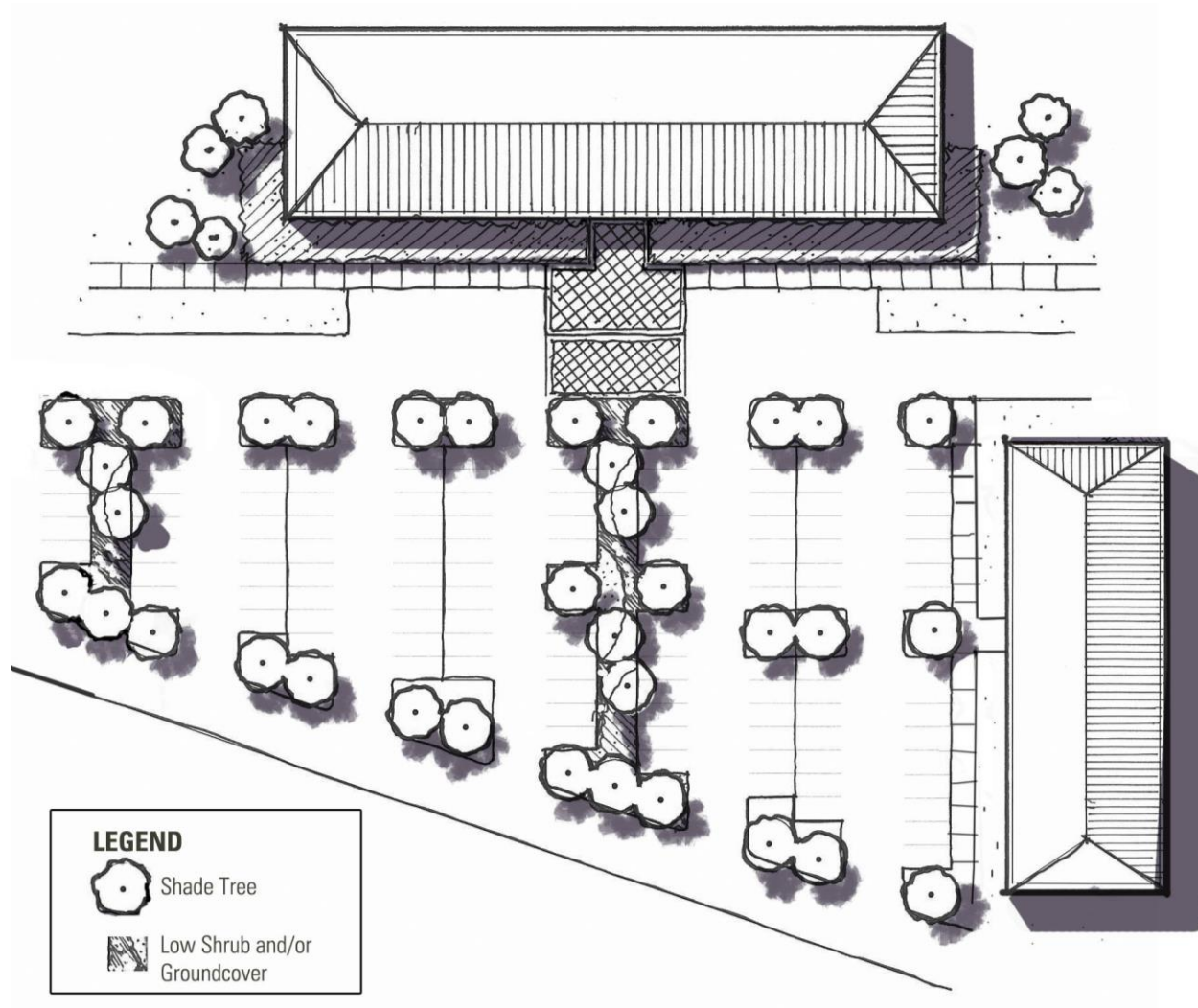
One fifteen foot (15') wide minimum planting median is required for every three (3) bays of parking as a means to interrupt large expanses of paving. Refer to drawings on Regular and Irregular Parking Lot Landscape Planting Exhibits in Site Criteria for further clarification.

All landscape areas within a parking lot shall be irrigated. The required landscaped areas must be distributed evenly throughout the parking lot so that shade is distributed. Reference the Regular and Irregular Parking Lot Landscape Planting Exhibits in Site Criteria for further clarification.

Regular Shaped Parking Lot Landscape Planting Exhibit

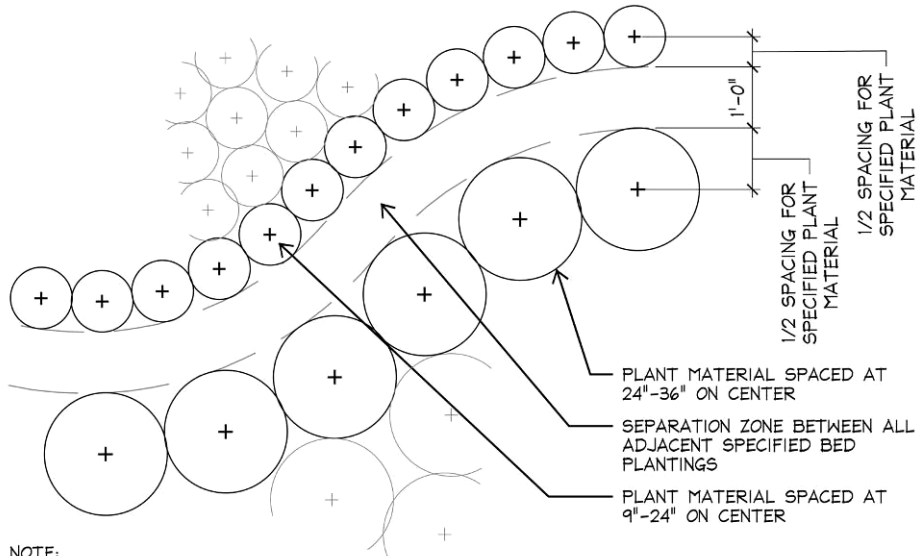


### Irregular Shaped Parking Lot Landscape Planting Exhibit



## Building Perimeter Landscaping

To maintain the image that buildings and parking areas located within a natural environment and soften the appearance, twenty-five percent (25%) of the total area between the building and adjacent parking must be landscaped. Up to fifty percent (50%) of the area may be a mixture of groundcovers, shrubs and trees. Building entry points must be landscaped with some level of vegetation utilizing potted plants or planting beds.



NOTE:  
THIS DETAIL IS DRAWN TO SHOW THE INTENDED PLANTING LAYOUT OF ADJACENT SHRUB BEDS ALONG CURVES. CONTRACTOR TO PLANT ALL PERIMETER OF BED AREAS AS SHOWN AND THEN PLANT THE REMAINDER OF THE BED TRIANGULARLY AT THE SPECIFIED SPACING.

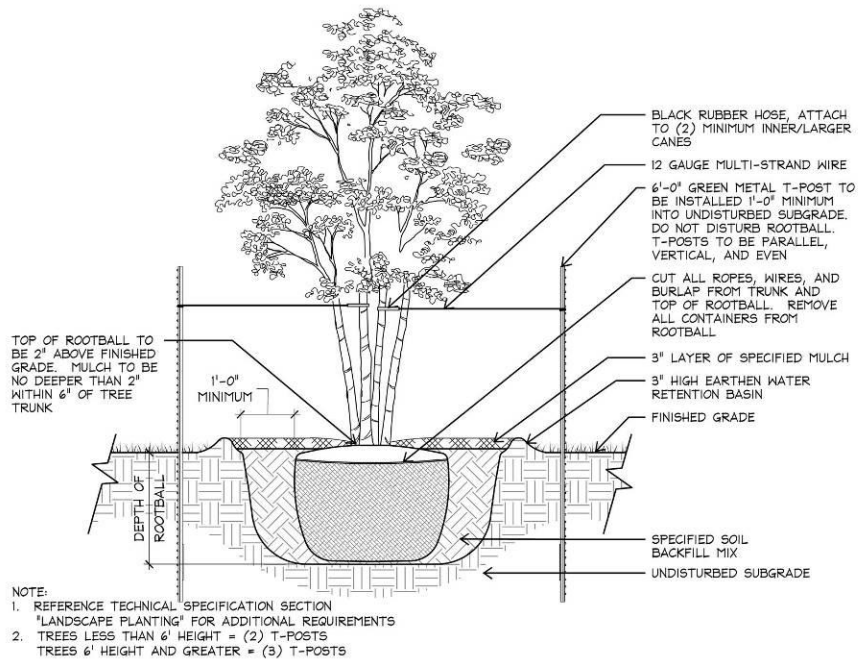
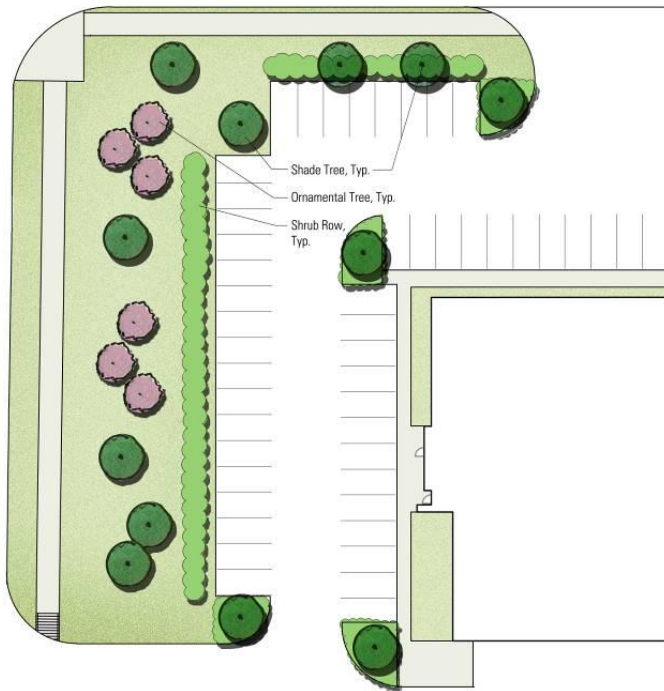
## SHRUB & GROUNDCOVER PLANTING

PLAN

NOT TO SCALE



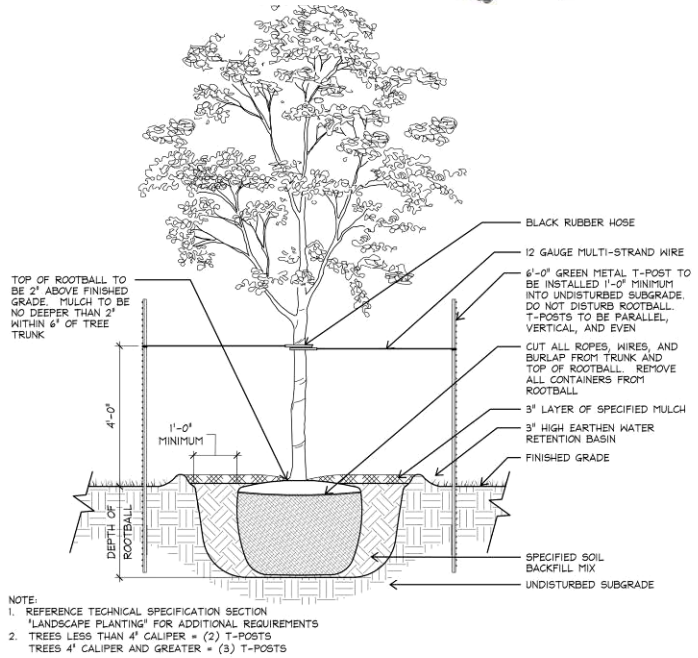
PLANTING BUFFER EXAMPLE



ORNAMENTAL TREE

SECTION

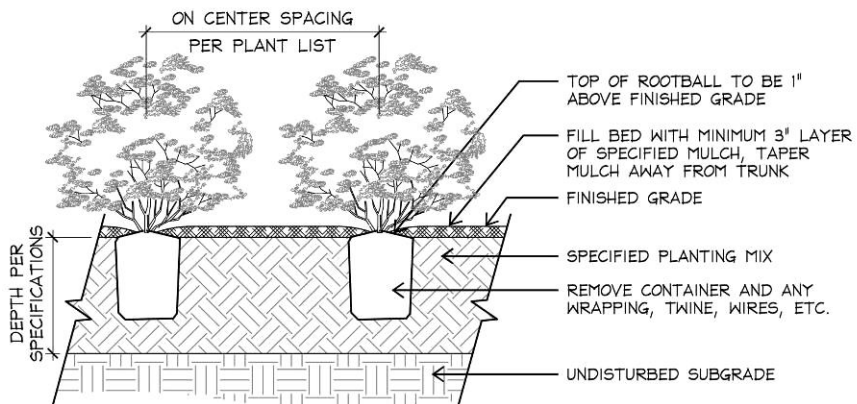
SCALE: 1/2"=1'-0"



SHADE TREE

SECTION

SCALE: 1/2"=1'-0"



SHRUB BED PLANTING

SECTIONS

NOT TO SCALE

## Landscape Screening

The following areas require landscape screening from all off-site views:

- Shipping and receiving areas
- Trash collection areas
- Ground-mounted mechanical equipment, utility pedestals and transformers
- All water supply and irrigation controls including back flow preventers. Unless required by code, no metal cage is allowed as a screen for back flow preventers. If required by code then metal cage must be black powder coated.
- Sources of noise

**Screening of these areas must include either/or a combination of:**

- Masonry walls (finishes to match the building) with a minimum height of six feet (6')
- Opaque masses of trees and shrubs
- Sources of noise must be screened with solid walls at eight feet (8') minimum

Areas between service drives (at rear of building) and the rear wall or fence must meet the landscape buffer criteria.

If the nonresidential tract abuts any residential tract zoning then a the premises must have an opaque screen fence at least six-feet (6') in height along the property line and must have a planting buffer of at least one three inch (3") caliper shade tree every thirty feet (30') with associated turf and irrigation. A minimum of five feet (5') must be provided for the planting buffer.

Please refer to City of Sugar Land Development Code for more information.



Common Name Botanical Name	Size	Remarks
<b>Trees</b>		
Alee Lacebark Elm <i>Ulmus parvifolia 'Emer II'</i>	4" cal; min 14' ht min. 7' sprd.	Single straight trunk; full canopy clear trunk to 7'-0"; dark green; Machine move; Matched specimen
Highbeam Overcup Oak <i>Quercus lyrata 'Highbeam Overcup'</i>	5-1/2"-6" cal; 20' ht. min. x 7-1/2" sprd. Min. B&B	Matched Specimen, single leader, straight trunk, full canopy, clear trunk to 7'-0"; dark green foliage
Live Oak <i>Quercus virginina</i>	4" cal; min 14' ht;  min. 10' sprd.	Single straight trunk; full canopy clear trunk to 7' - 0"; dark green; container grown; Match specimen
Live Oak <i>Quercus virginina</i>	3" cal; min 12' ht;  min. 6" sprd.	Single straight trunk; full canopy clear trunk to 7' - 0"; dark green; container grown; Match specimen
Shumard Red Oak <i>Quercus shumardii</i>	4" cal; min 14' ht;	Single straight trunk; full canopy clear trunk to 7' - 0"; dark green; container grown; Match specimen
Burr Oak <i>Quercus macrocarpa</i>	4" cal; min 14' ht;	Single straight trunk; full canopy clear trunk to 7' - 0"; dark green; container grown; Match specimen
Chinese Pistache <i>Pistacia chinensis</i>	2.5"-3" cal; min 10' ht; min. 5' sprd.	Single straight trunk; full green canopy.



Drummond Red Maple <i>Acer rubrum var. drummondii</i>	4" cal; min 14' ht;	Single straight trunk; full canopy clear trunk to 7' - 0"; dark green; container grown; Match specimen
----------------------------------------------------------	---------------------	--------------------------------------------------------------------------------------------------------

Drake Elm <i>Ulmus parvifolia 'Drake'</i>	4" cal; min 16' ht;	Single straight trunk; full canopy clear trunk to 7' - 0"; dark green; container grown; Match specimen
----------------------------------------------	---------------------	--------------------------------------------------------------------------------------------------------

**Ornamental Tree**

Chinese Fringe Tree <i>Chioanthus retusus</i>	45 gal. 8' ht.; 4' sprd.	Multi-trunk, 3-5 trucks, 1-1/2" min cane cal; full canopy; dark green; container grown; Match specimen
Crape Myrtle 'Tuscarora' <i>Lagerstroemia indica 'Tuscarora'</i>	8' ht; 5' sprd.	Multi-trunk, 3-5 trucks, 1-1/2" min cane cal; full canopy; dark green; container grown; Match specimen
Waxmyrtle <i>Myrica cerifera</i>	8' ht; 6' sprd. 45 gal	Multi-trunk, 3-5 trucks, 1-1/2" min cane cal; full canopy; dark green; clear trunk to 4'-0"; container grown; Matched specimen
Yaupon Holly <i>Ilex yomitoria</i>	8' ht; 6' sprd. 45 gal	Multi-trunk; 3-5 trunks; 1- 1/2" min.; full canopy; clear trunk to 4' - 0"; dark green container grown; Matched specimen
Tree Ligustrum <i>Ligustrum japonicum</i>	7' ht., 6' sprd. 45 gal	Muilti-trunk; 3-5 trunks; 1-1/2" min. cane cal., full canopy, dark green clear trunk to 4'-0"; Matched specimen

## Shrubs

Carissa Holly <i>Ilex cornuta 'Carrisa'</i>	5 gal. 24" ht., 14" sprd.	dark green; full to ground plant 30" o.c.
Asian Jasmine <i>Trachelospermum asiaticum</i>	1 gal., 10" ht; min 10 " sprd.	plant 18" o.c.
Society Garlic <i>Tulbachia violacea</i>	1 gal. 12" ht. 12" sprd.	plant 12" o.c. full green foliage
Bicolor Iris <i>Morasa bicolor</i>	5 gal. 24" ht. & sprd.	dark green; full; plant 30" o.c.
Little Kitten Miscanthus <i>Miscanthus sinensis 'Little Kitten'</i>	5 gal; 20" ht. 20" sprd.	plant 30" o.c.; full
Plumbago <i>Plumbago auriculate</i>	5 gal., 24" ht. 18" sprd.	dark green; full; plant @ 36" o.c.
Purple Trailing Lantana <i>Lantana montevidensis</i>	1 gal. 12" ht. & sprd.	plant 18" o.c.; full
Coppertone Loquat <i>Eriobotrya japonica</i>	5 gal.; 36" ht. 24" sprd.	green; full; plant 42" o.c.
Ligustrum <i>Ligustrum japonica</i>	5 gal.; 36" ht. 36" sprd.	dark green; full; plant 36" O.C.
Seasonal color	4" pots, 50% in bloom at install	plant 9" o.c.; full variety, to be selected by Landscape Architect, submit avail. list
Purple Pixie Loropetalum <i>Loropetalum chinense "Purple Pixie"</i>	1 gal.; 12" ht. min 24" sprd.	plant 24" o.c.

**Lawn**

Annual Rye Hydromulch with

seeds 1 lbs / 1,000 sq ft. contractor to field verify quantity. Eradicate rye in spring, prep soil, and hydromulch common bermuda to establish permanent turf. Place one (1) strip solid sod at back of curb where hydromulch occurs. Field verify quantity.

Common Bermuda  
Hydromulch in Spring  
*Cynodon dactylon*

Common Bermuda  
Solid Sod with Annual Rye over seeding  
*Cynodon dactylon*

## Irrigation

Installation of an irrigation system is mandatory. All landscaped and lawn areas must be effectively watered, including islands and medians in parking lots and divided access driveways. The landscape and irrigation along major roadways will be installed and maintained by Riverstone HOA within the thirty foot (30') landscape setback. Any landscape adjacent shall be coordinated effort with TBG Partners, Inc. Separate meters and irrigation zones must be provided for this area. Sprinkler heads must be located so as to effectively water areas intended with minimal overthrow onto pavement, walks, etc. Provide one hundred percent (100%) coverage overlap insuring effective and even coverage.

All irrigation systems must be designed and installed by a licensed contractor doing business in Texas under a City of Sugar Land irrigation permit.



### Standards:

- a. Head to head coverage system providing one hundred percent (100%) coverage
- b. Swing joints on all heads should be used to avoid all mechanical damage
- c. Use hi-pop risers in beds next to walks and driveways keeping rigid risers away from street and driveway curbs to prevent damage from traffic
- d. All pressure mains should be Schedule 40 PVC with slip joint connections.
- e. Backflow preventer should be placed in a black backflow cage and out of sight and densely screened with landscape shrubs
- f. Utilize separate valved sections for shrub and lawn areas, which have different water requirements
- g. Automatic controllers are to be hidden from public view
- h. Trenching should be avoided within drip line of existing trees
- i. Do not design circuits for more than seventy-five percent (75%) of maximum pressure
- j. Choose best head type for particular application
- k. Irrigation by bubblers, drip and leaky pipe is appropriate for some situations
- l. Moisture sensors, etc. are encouraged to conserve water by not overwatering
- m. Connect via modem and phone lines to master computer

All setbacks and Right-of-Ways are to be irrigated with an automatic underground system. Irrigation for all Right-of-Way landscape areas shall be maintained by the Riverstone Home Owners Association.



## Tree Preservation

Existing trees on individual construction sites shall be evaluated carefully to determine their desirability and suitability to the proposed design. Existing trees to be preserved on building sites and all site improvements existing in landscape setback areas must be fully protected from damage during construction. Existing adjacent developments must be protected with a temporary fence erected at least 10 feet (10') from and parallel to the property line.

Existing trees shall be protected as follows:

1. Erect tree protection fencing at the drip line of all trees to be protected. Tree protection fencing shall be constructed prior to the beginning of any construction activity, including clearing and grubbing and shall be maintained continuously through construction and removed upon completion.
2. Excessive pedestrian traffic must not occur and care shall be taken when working in the vicinity of trees to prevent any damage to trunks, branches or foliage. Nails, bolts, rope, or guy wires shall not be attached to any trees.
3. No vehicles, materials or any kind of equipment may be allowed inside or stored within the fence protected areas or drip line of the tree.
4. Disposal of toxic materials or potentially toxic materials such as solvents, paints, gasoline, oil, etc. is expressly prohibited anywhere on the construction site, including near the drip line of the trees.
5. Trash fires will not be permitted.

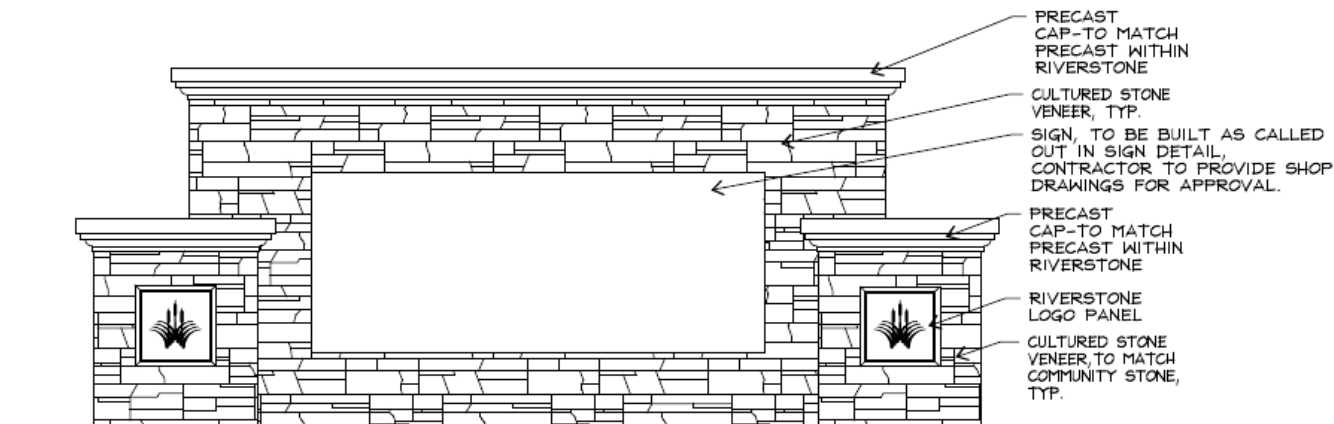
6. In close areas, where fencing to drip line is not possible, protect trunk by strapping (not nailing) a continuous shield of wood, two by four inch by five foot (2" x 4" x 5'), around the trunk and lay plywood on ground in drip line of tree to prevent compaction of soil by trucks or machinery, etc.
7. Removal of any tree with a caliper of six inches (6") or more measured twelve inches (12") from the base of the tree shall require ARC approval.
8. Removal or damage to any specimen quality tree may be subject to a fine up to ten thousand dollars (\$10,000).



## Signage Criteria

The following is the Riverstone standards for temporary and permanent signs. The purpose is to allow a format that is individual and distinctive in identity for the tenant and also compatible with other signs within Riverstone. The total concept should give an impression of quality, professionalism and instill a good business image.

Each property owner will be responsible for construction and maintenance of monument signs. The following schematic elevations and specifications are to be used for the design of your sign; however, in all cases, final written approval must be obtained from the Riverstone ARC prior to the manufacturing or installation of any signage. The ARC shall make all final determinations concerning any questions or interpretations of this sign policy.



A. FRONT ELEVATION

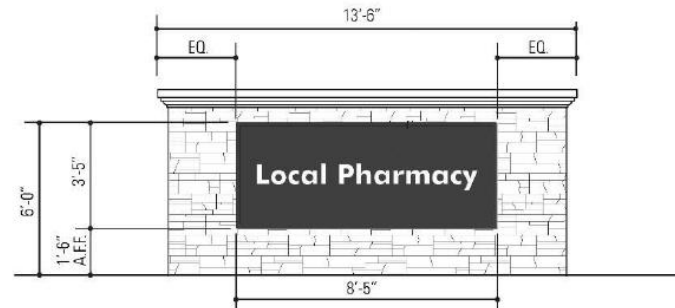
NOTES:  
 1. STONE VENEER MANUFACTURED BY: CULTURED STONE COLOR SUEDE DRYSTACK LIMESTONE WITH TIGHT FITTED JOINT MFG. #SCV-2010 1800-255-1727 EXT. 4627  
 2. PRECAST MANUFACTURED BY: TOMBALL STONE & GRAPHICS COLOR: WHITE 281-734-2712  
 3. CONTRACTOR TO SUBMIT SAMPLE FOR APPROVAL PRIOR TO CONSTRUCTION

## Single and Multi-Tenant Signage Specifications

The aluminum sign cabinet must be internally illuminated with a removable aluminum face sheet insert with CNC routed logo or copy backed with white acrylic Plexiglas. Sign cabinet must be internally illuminated with five thousand five hundred (5500k) white LED's. Any part of the monument sign may not exceed the brightness level of 0.3 foot candles above ambient light conditions when measured at an appropriate distance.

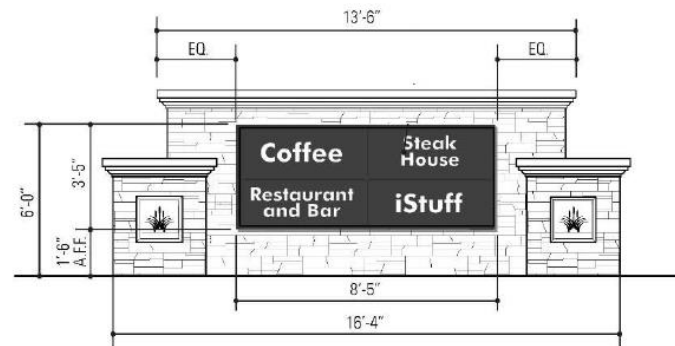
All exposed aluminum must be either:

1. Black anodized or
2. Power-coat satin black to match Matthews Paint Company Satin Black. Tenant/developer is to provide finish sample prior to panel fabrication for approval to the ARC.



**1** CABINET ELEVATION - SINGLE TENANT SIGN  
SCALE: 1/4" = 1'-0"

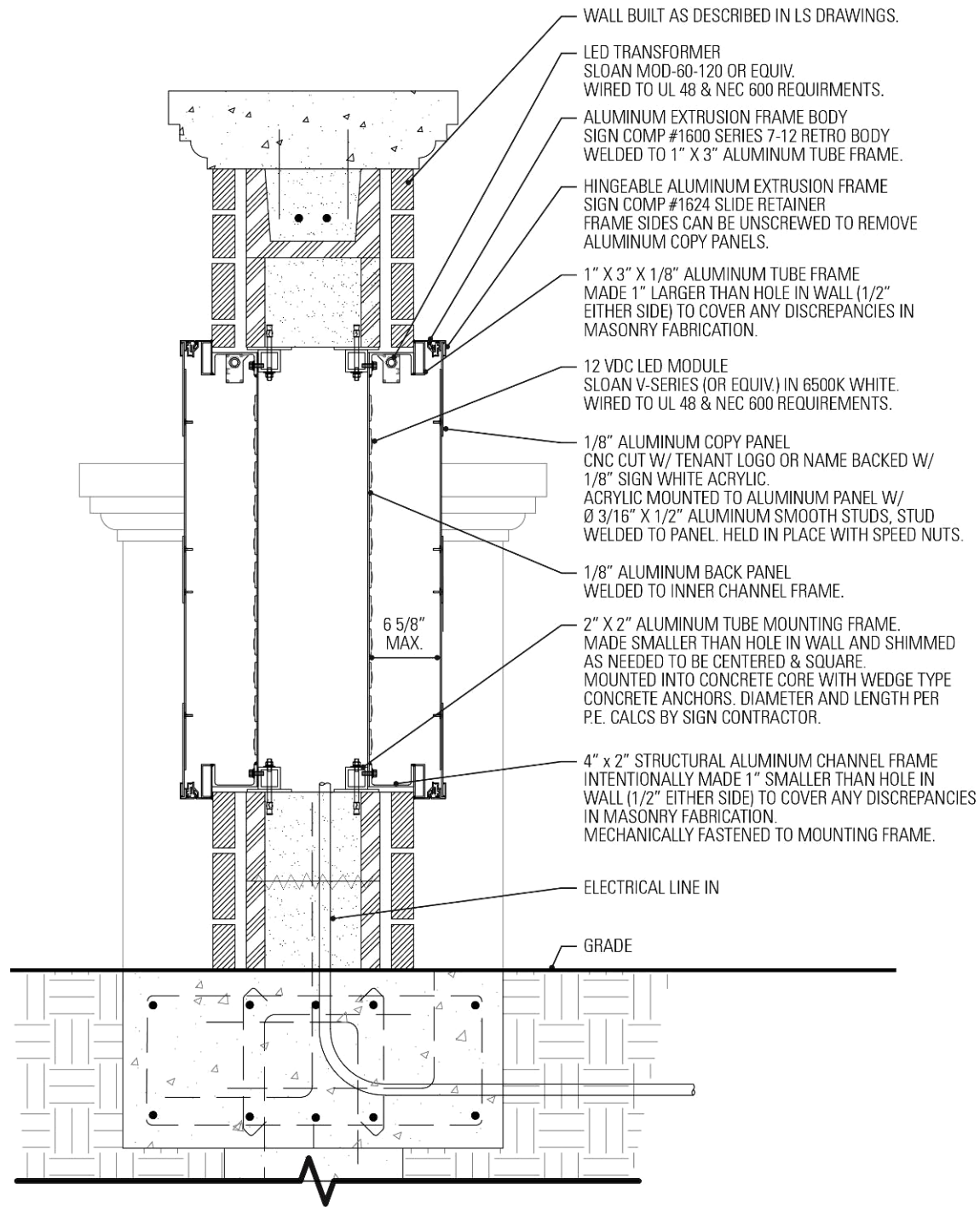
NOTE: TENANT TO PROVIDE PAINT SAMPLE & SIGN PANEL TEMPLATE PRIOR TO PANEL FABRICATION FOR APPROVAL.



**2** CABINET ELEVATION - MULTI-TENANT SIGN  
SCALE: 1/4" = 1'-0"

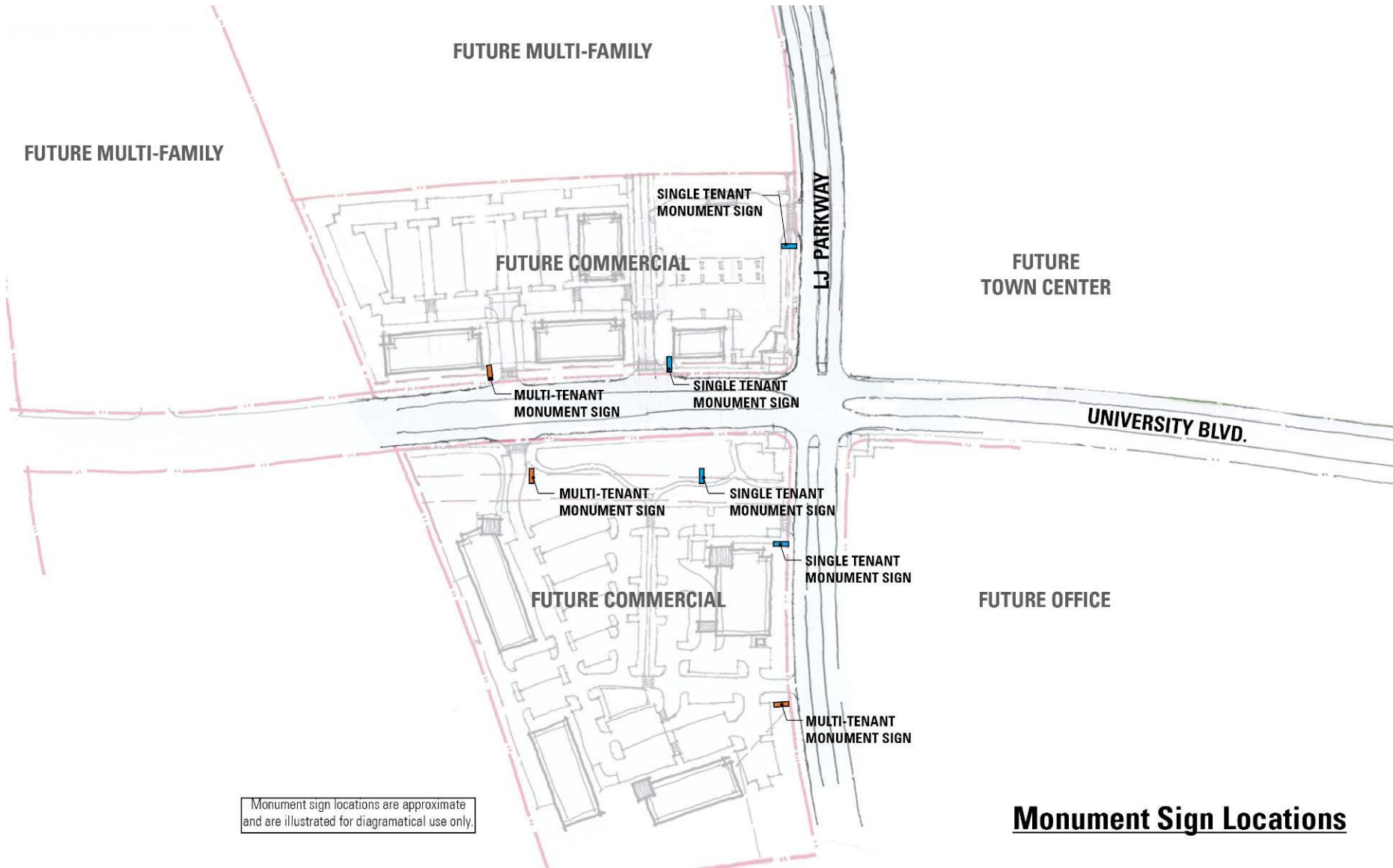
INDIVIDUAL TENANT PANELS  
ARE 4'-0 1/2" X 1'-6 1/2"

NOTE: TENANT TO PROVIDE PAINT SAMPLE & SIGN PANEL TEMPLATE PRIOR TO PANEL FABRICATION FOR APPROVAL.



**A** CABINET SECTION  
SCALE: 1" = 1'-0"





### Monument Sign Locations

## Building ID Signs

Final written approval must be obtained from the Riverstone ARC prior to the manufacturing or installation of any signage. The ARC shall make all final and controlling determinations concerning any questions or interpretations of this sign policy.

All building identification signage must be as follows:

1. One (1) building identifier will be permitted for each tenant. A second building sign may be considered on a corner if ARC and City of Sugar Land has granted approval;
2. All retail signs must be black non-translucent faces, backlit illuminated, reverse channel letters and shall be mounted directly to the building fascia. Returns must be black;
3. Sign assembly shall be bolted to masonry or fascia structure with non-corrosive galvanized bolts;
4. Height:
  - Major Tenant – forty-eight inch (48”) height;
  - Greater than ten-thousand (10,000) SF – thirty-six inch (36”) height;
  - Less than ten-thousand (10,000) SF – twenty four inch (24”) height;
  - Multiple Rows - not to exceed thirty-six inches (36”) in total height including spaces between rows.

5. The information on the sign will consist of the name of the tenant in a font style of their choice, however, the font must be approved by the ARC;
6. The maximum span of the tenant’s sign shall not exceed seventy-five percent (75%) of the store frontage width;
7. The assigned position for each tenant shall be as close to a center-of-frontage location as possible, subject to allowance for positioning corner store signs and suitable space between adjacent tenant signs, as determined by the ARC.



## Pole Signs

Parking lot directionals will be approved on a case by case basis by the ARC and is based on the following criteria: size, pole/standard, material, and color.

### Pole:

WDA06F4C17P07ABGBK-SH1124-AF

(Wadworth Sign Pole, six feet (6') high, Fluted four inch (4") diameter aluminum shaft, 17" diameter Round decorative cast aluminum base, decorative post top finial, Black, includes anchor bolts)

NOTE: Delete suffix "-AF" from this Sign Pole catalog number if this pole is to be used with pole top street name sign.

### Street Sign:

STS1PTAFCABK

(Single Pole Top Street Name Sign, Oval cast aluminum frame with decorative finial for use with street name decal (*decal not provided by Holophane*), Black)

NOTE: Delete "-AF" suffix from Sign Pole catalog number when used with this street sign.

### Signs:

**S2-** Twenty-four inch (24") Stop Sign Plate OCS24COCABK-SH1124

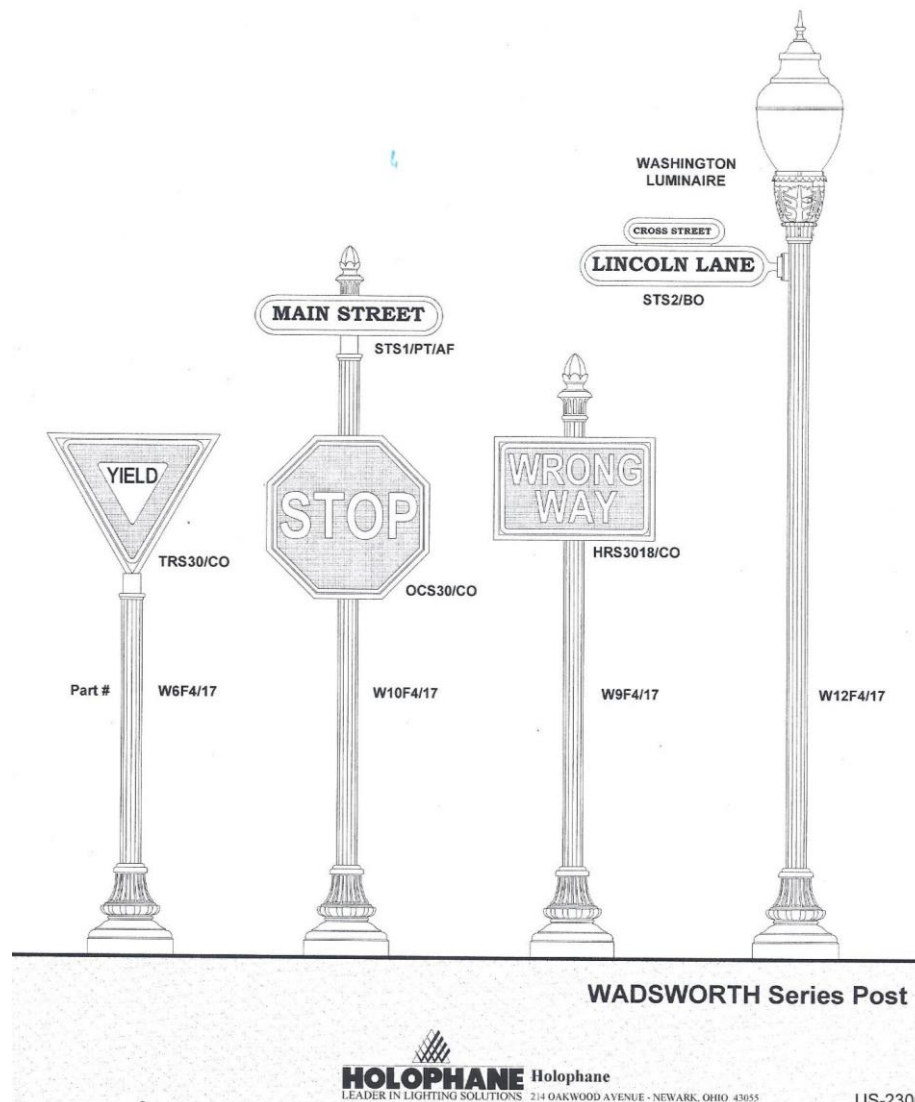
(24" Octagonal cast aluminum sign for use with stop sign decal (*decal not provided by Holophane*), Clamp-on mounting, Black)

**S3-** Twenty-four inch (24") Square "Do Not Enter" Plate SQS24COCABK-SH1124

(Twenty-four inch (24") Square cast aluminum sign for use with "Do Not Enter" decal (*decal not provided by Holophane*), Clamp-on mounting, Black)

**S4-** Eighteen by twenty-four inch (18x24") Handicap sign, Speed Limit Sign, or Miscellaneous sign VRS1824COCABK

(18" W X 24" H Rectangular cast aluminum sign for use with Handicap sign decal, Speed Limit sign decal, or other miscellaneous sign decal (*decals not provided by Holophane*), Clamp-on mounting, Black)



## Window Signs

Window signs must be limited, uniform, consistent font throughout center. Street address, hours, phone number, entrance and exit shall be installed by Tenant using three inch (3") bold vinyl die-cut letters located on glass transom above doors, centered on doors. Use 3M white opaque vinyl only.

Any other signage to be located in the window must be located twelve inches (12") from the window, maximum twelve by twelve inch (12" x 12") in size, and must have ARC approval.

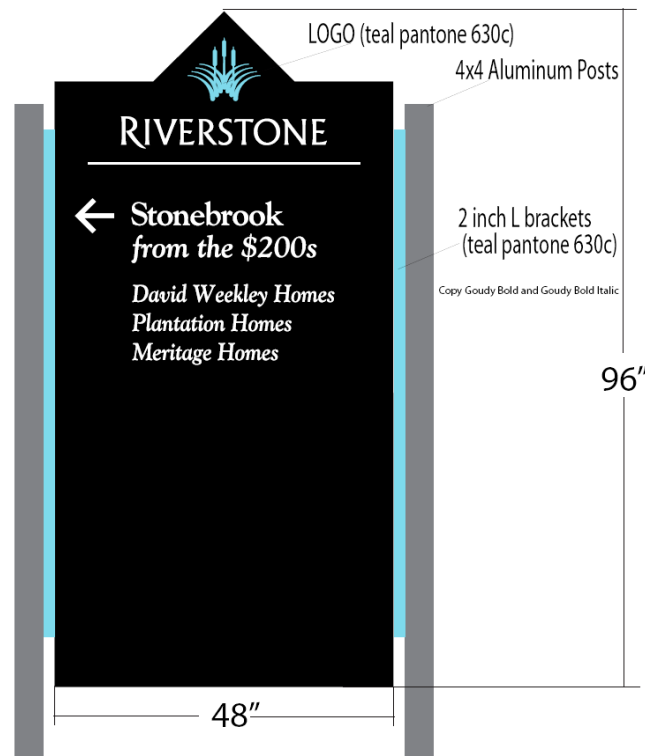
## Neon Signs

Neon signs, including any interior neon sign visible from the street and inside buildings are prohibited.

## Temporary Signs

During the construction phase of a project, unlighted construction/leasing signs are permitted for a maximum of one (1) year. Signs must be removed sixty (60) days after initial occupancy. Signs may be double faced and placed perpendicular to the roadway where they are located and within the building setback line. A sign that is replaced with another must be removed before the other sign can be installed. Information may be added or revised to a sign but each revision must conform to the standards criteria.

Sign area may be up to 4' x 8' located 10' from R.O.W. unless approved otherwise by the ARC. Signs must be approved by the ARC before installation.



Temporary signage may include the following information:

- Project Name and Logo
- Major Tenant(s)
- Project Developer and Consultants
- Financial Institution
- Contractor
- Opening Date
- Phone Number Sales or Leasing Agent

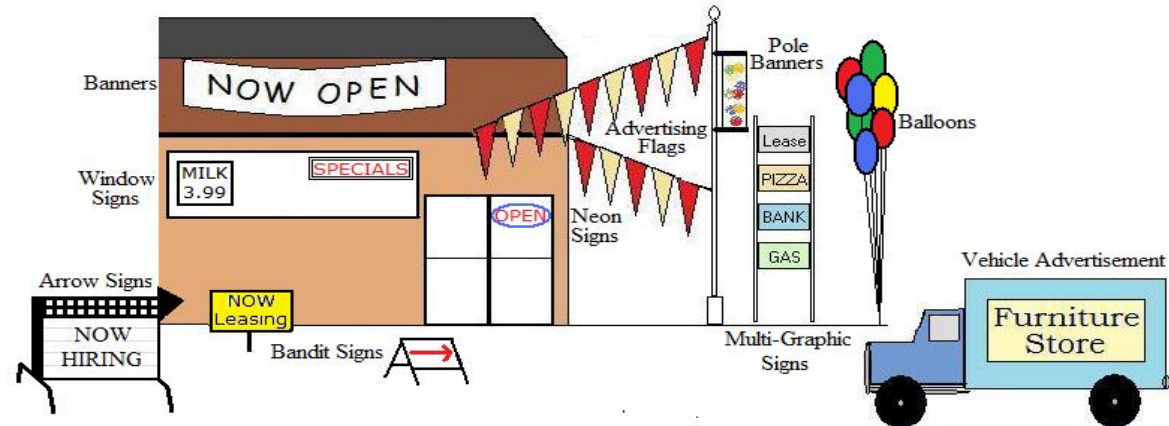
One (1) white temporary banner may be displayed with Coming Soon or Now Open in red or black lettering for thirty (30) days and must be submitted for ARC approval with sign package, including date of installation and removal.

## Prohibited Signs

The following are prohibited:

- Sign creating confusion interfering with emergency police or fire response.
- Temporary signs not conforming to and approved by ARC.
- Bandit Signs, as the term is recognized in the industry.
- Unapproved window signs
- Exposed neon and window neon signs
- Mobile, human or portable signs/stickers and signs mounted, attached, or painted on cars, buses, trailers, and boats and used as stationary advertising.
- Child/Day care buses with graphics must be parked out of public view promotional graphics, such as banners, flags or balloon.
- Advertising searchlights and revolving beacons.
- Sky signs, tethered pilot-less balloons, and all inflatable advertising devices.
- Sandwich or “A-frame” signs and sidewalk and curb signs.
- Signs that emit any sound
- Political signs in public rights of way or on public property.
- Signs with changeable copy
- No person shall hold signage, distribute or cause to be distributed any poster, placard, handbill, or advertising material in such a manner that the materials could reasonably be expected to be blown by the wind.
- Any other sign which the ARC would find objectionable.

Typical Prohibited Signage



## Sign Approval Process

Sign approval issued in accordance with the Guidelines is required before any sign is erected or displayed. All sign approvals shall be for a specific location, and any relocation shall require a new approval by the ARC. All signs must be submitted through City of Sugar Land for approval.

1. Prior to awarding a contract for fabrication and installation, Tenant shall submit the Single Item Submittal Form, \$150 approval fee, two (2) drawings for final review and approval or email to:

*Riverstone Commercial Property Owners  
Association Architectural Review Committee  
C/o Janet McCauley  
13711 Pristine Lake Lane  
Cypress, TX 77429  
info@mccauleyarc.com  
Fax: 281-516-3461*

2. Elevation of building fascia and sign shall be drawn using a minimum 1/4" = 1' - 0" scale. Provide section drawn at min. 3/4" = 1' - 0".
3. Drawing shall indicate the following specifications: Type, color and thickness of all sign components, type of illumination and mounting method. Tenant's sign contractor shall first visit the site to verify existing conditions prior to preparation of shop drawings, information needed to prepare submittals shall also be obtained during this visit.

4. Drawings must include fascia cross section showing electrical connections.
5. Retail center building signage contract must be established with tenant regarding monument, building, window signage and holiday decorations as well as all deed restrictions. Proof of establishment must be submitted to ARC for approval.
6. In retail centers, all tenants must receive prior approval from the ARC for holiday lighting and/or all decorations.



## **RIVERSTONE COMMERCIAL ARCHITECTURAL REVIEW PROCESS**

The official submittal of plans and specifications to the Riverstone Architectural Review Committee (ARC) is to provide a review process for conformance to the Riverstone Commercial Design Standards, adopted by the ARC. The site plan, architecture, signage and landscape must be reviewed and approved concurrently in writing by the ARC and County before construction can begin. All new construction, subsequent construction, remodeling with exterior exposure, expansion and demolition of structures shall be reviewed and approved by the Riverstone ARC and County prior to the submittal of building permit application and prior to commencement of any on-site building or construction activity including grading. The ARC reserves the right to alter the review process in order to ensure an adequate review of all submissions while accommodating the needs of the project. The following is a list of what is considered a complete submittal, no exceptions will be made.

### **Optional Conceptual Plan**

- One (1) full size + one (1) half size + Electronic sets of the conceptual site plan
- Sections, elevations and details as necessary to illustrate design intent

### **Phase I Submittal**

- One (1) full size + one (1) half size + Electronic sets of the Schematic Site Plan Including:
  - a) Building Setbacks, Easements and Right-of-Way
  - b) Utility Service Locations
  - c) Overall site drainage plan
- Exterior Elevations
- Perspective Color Rendering of Exterior Elevation
- Material Sample Board

### **Phase II Submittal**

- One (1) full size + one (1) half size + Electronic sets of the following:
  - a) Changes indicated at Phase I review
  - b) Architectural Plans
  - c) Site plot plan, drainage and grading plans, mechanical/electrical/plumbing plans
  - d) Foundation and parking lot design certification by a registered, professional engineer
  - e) Final Survey
  - f) Landscape Plans (Size of plant material noted)
  - g) Irrigation Plans
  - h) Parking and building lighting cut sheets with photometrics
  - i) Sign criteria and location (building ID, monument and directionals)
  - j) Color elevation rendering(s)

**Final Approval** is required. Before construction begins, there must be a pre-construction meeting on site. On-Site color-board for approval is required prior to installation of exterior materials. After construction is complete and before opening, there must be a post-construction meeting. A Final Inspection will be performed by the ARC upon completion of the project and may produce a punch-list of items needing attention. There is a time frame of three (3) weeks for this punch-list to be completed. Should there be a situation that a variance is requested, it must be completed in writing before the three week deadline. Fines may be levied at ARC discretion for non-compliance.

Should there be the circumstances where the Landscape Easement is involved in any construction; the Riverstone ARC will require that any and all damage to turf, sidewalk and/or irrigation must be repaired and replaced to exact condition. A deposit shall be required before construction commences and will be returned upon successful completion

of the project and ARC Final Inspection.

After closing, there will be a monthly deed restriction drive with a seven (7) day time frame for compliance. Fines will be levied for non-compliance.

**REVIEW FEES** - Checks shall be made out to McCauley Architectural Reviews, Inc. There may be additional fees if additional time is required or added items submitted after review is complete.

- Optional Conceptual Plan Review - \$500.00
- Phase I and Phase II Review - \$.03 per square foot of gross site area with a minimum charge of \$2,000.00, maximum of \$5,000 for both. All fees, including the Phase I and II, Mandatory Pre-Construction and On-site Post-Construction meetings are due at Phase I review.
- Re-Reviews - \$1,500.00
- Signage and single Item Review (not part of package) - \$150.00
- Mandatory Pre-Construction meeting - \$200.00
- On-site Post-Construction meeting - \$200.00
- Additional Post-Construction meeting - \$200.00

**Please send all information to Riverstone ARC:**

c/o McCauley Architectural Reviews, Inc.  
13711 Pristine Lake Lane  
Cypress, TX 77429  
Fax: 281-516-3461  
info@mccauleyarc.com

**TIMING**

The ARC shall review and approved in writing each formal submittal or recommended revisions to those aspects of the plans that are inconsistent with the Riverstone Commercial Guidelines. The ARC requires a maximum period for review and approval of submitted plans as identified in the Deed Restrictions; however, if an applicant has not received a response after twenty days, please contact the ARC. Submittals received at least 48 hours prior to the scheduled meeting will be reviewed and comments returned. To assist applicants with preparation of submittals or for general questions regarding the Guidelines or review process, applicants may contact the ARC to schedule an informal Optional Conceptual Plan review.

**VARIANCES**

Reasonable variances may be granted upon request as long as the variance shall be in keeping with the overall intent of the master plan for the improvement and development of the property as well as preservation of existing natural features. Variances may be granted with conditions for approval, which would alleviate the impact for granting the request may have. All applicants must comply with the conditions for approval that may be imposed on a variance. Each builder must address the variance request in writing and the reason(s) why the request should be granted. All variances granted shall be subject to City of Sugar Land. Variances in conflict with the County will not be granted.

**DISCLAIMER**

Neither *Riverstone*, members of the Architectural Review Committee, or its representative, their successors or assigns, shall be liable in damages to anyone submitting plans to them for approval, or to any owner or lessee of any parcel affected by these restrictions, by reason of mistake in judgment, negligence on nonfeasance arising out of or in connection with the approval or disapproval or failure to approve any plans submitted. Every person who submits plans to the Committee for approval agrees by submission of such plans, and every owner or lessee of any parcel within the property agrees, by acquiring title thereto or interest therein, that he will not bring any action or suit against *Riverstone*, members of the ARC, or its representatives, to recover any damages.





# RIVERSTONE

## Optional Concept Commercial Plan Consultation Submittal Form

The Optional Concept Plan Consultation is intended to identify and highlight specific site development issues and requirements. This serves to assist the Applicant in understanding pertinent planning and design concepts and Preliminary Plan submittal requirements. No official approval of submittals will be rendered at this consultation.

Please forward this completed form to the Riverstone POA Architectural Review Committee, c/o Janet McCauley at the address below.

Commercial/Retail – Office \_\_\_\_\_

Gross Site Sq. Ft. \_\_\_\_\_ Building Sq. Ft. \_\_\_\_\_

Location \_\_\_\_\_

Submittal Date \_\_\_\_\_ Estimated Start Date \_\_\_\_\_

Owner/Builder \_\_\_\_\_

Business Address \_\_\_\_\_

Telephone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail \_\_\_\_\_

Signature \_\_\_\_\_

Please provide the following:

- One (1) full size + one (1) half size + Electronic sets of the conceptual site plan
- Sections, elevations and details as necessary to illustrate design intent
- Non-refundable consultation fee of \$500.00
- Check made out to McCauley Architectural Reviews, Inc.



# RIVERSTONE

## Phase I Commercial Plan Submittal Form

Please forward this completed form to the Riverstone Commercial POA Architectural Review Committee, c/o Janet McCauley at the address below.

Commercial/Retail – Office

Gross Site Sq. Ft. \_\_\_\_\_

Building Sq. Ft. \_\_\_\_\_

Location: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

Owner/Builder: \_\_\_\_\_

Business Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Signature \_\_\_\_\_

Please provide the following:

- One (1) full size + one (1) half size + Electronic sets of the Schematic Site Plan Including:
  - a) Survey indicating location of trees greater than 6" in diameter
  - b) Building setbacks, easements and R.O.W.
  - c) Utility Service Locations
  - d) Overall site drainage plan
- Exterior Elevation
- Perspective Color Rendering of Exterior Elevation
- Material Board
- Phase I and Phase II Review - \$.03 per square foot of gross site area with a minimum charge of \$2,000.00, maximum of \$5,000.00 for both. All fees, including the Phase I and II, Mandatory Pre-Construction and On-site Post-Construction meetings are due at Phase I review.
- Checks shall be made out to McCauley Architectural Reviews, Inc.
- **Re-Review \$1,500.00**



# RIVERSTONE

## Phase II Commercial Plan Submittal Form

Please forward this completed form to the Riverstone Commercial POA Architectural Review Committee, c/o Janet McCauley at the address below.

Commercial/Retail – Office

Gross Site Sq. Ft. \_\_\_\_\_

Building Sq. Ft. \_\_\_\_\_

Location: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

Estimated Start Date \_\_\_\_\_

Owner/Builder: \_\_\_\_\_

Business Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Signature \_\_\_\_\_

Please provide One (1) full size + one (1) half size + Electronic sets of the following:

- Changes indicated at Phase I review
- Site plot plan, floor plans, building cross-sections, drainage and grading plans, mechanical/electrical/plumbing plans
- Foundation and parking lot design certification by a registered, professional Engineer
- Final Survey
- Landscape Plans (Size of plant material noted)
- Irrigation Plans
- Parking and building lighting cut sheets and photometrics
- Sign criteria (building mounted and monument)
- Color elevation rendering(s)
- Re-review \$1,500.00
- Mandatory Pre-Construction meeting - \$200.00
- On-site Post-Construction meeting - \$200.00
- Additional Post-Construction meeting - \$200.00

Only complete submittals will be reviewed. **Final Approval** is required for construction to begin. Pre-Construction meeting is required as well as on-site color-board for approval. **Final Inspection** is mandatory.



# RIVERSTONE

## Single Item Submittal

Please forward this completed form with check to McCauley Architectural Reviews, Inc. at the address below.

Date: \_\_\_\_\_

Non-Residential Business

Address: \_\_\_\_\_

Check one:            Pre-Construction            \_\_\_\_\_  
                           Final Inspection                \_\_\_\_\_  
                           Building Signage                \_\_\_\_\_  
                           Monument Signage              \_\_\_\_\_  
                           Temporary Signage              \_\_\_\_\_  
                           Other: \_\_\_\_\_

Owner/Builder: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ E-Mail: \_\_\_\_\_

Signature \_\_\_\_\_

Approved: \_\_\_\_\_ Conditional Approval: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Comments: \_\_\_\_\_

Fees: Single Item \$150.00 Review  
Pre- Construction and Final Inspection: \$200.00

Please include map with location for temporary signage.

\_\_\_\_\_  
Reviewer Initials and Date

\_\_\_\_\_  
ARC Committee Signature and Date



# RIVERSTONE

## **Retail Center Signage & Holiday Decorating Notification**

All tenants for Riverstone must have signage and holiday decorating in compliance with Riverstone Commercial Design Standards. These must be approved by the Riverstone Architectural Review Committee. Please review the attached package and acknowledge by signing that you have received this package and will abide by the standards set forth by the Riverstone Community.

Date: \_\_\_\_\_

Non-Residential Business:

\_\_\_\_\_

Address:

\_\_\_\_\_

Owner/Builder:

\_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ E-Mail: \_\_\_\_\_

I acknowledge that I have read and abide by the Riverstone Commercial Design Standards,

Signature \_\_\_\_\_

Please submit signed form to:

**Riverstone Commercial Architectural Review Committee  
C/O Tom Wilcox 4855 Riverstone Blvd #100, Missouri City, TX 77459**